



Conference Room A  
14343 Civic Drive  
Victorville, CA  
[www.victorvilleca.gov](http://www.victorvilleca.gov)

## Zoning Administrator

**Regular Meeting Agenda  
Wednesday, December 15, 2021**

**10:00 a.m. Regular Meeting**

The Zoning Administrator welcomes and encourages public participation and invites the community to attend in person. If you cannot attend in person, the meeting will also be available via Zoom and YouTube.

**To join via Computer, Laptop, or Smart Device:**

Meeting Link: <http://vv.city/zamtg3>

Meeting ID: 941 7812 7997

\*To provide comment, click the "Raise Hand" button and the Clerk will unmute you.

**To join via Audio only (cell phone or landline):**

Dial: (669) 900-9128

Meeting ID: 941 7812 7997

\*To provide comment dial \*9 to "Raise Hand"

**Public Comments:** Members of the public may submit comments electronically to [planning@victorvilleca.gov](mailto:planning@victorvilleca.gov). All email comments received by 3 p.m. the day before the meeting will be distributed to Zoning Administrator. Participants are invited to address the Zoning Administrator on agenda and non-agenda topics. Public comments will be no longer than three (3) minutes per community member. Should a speaker conclude their comments prior to the expiration of three (3) minutes, the speaker waives the right to speak for any remaining amount of time.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (760) 955-5135 no later than 72 hours prior to the meeting.

## Call to Order

### PUBLIC HEARINGS

#### 1. ADMN21-00105 – Angel Carrillo

**Environmental** – Environmental Exemption

**Project** – A Minor Site Plan and Minor Conditional Use Permit with an environmental exemption to allow for an automotive repair and body shop facility within an existing building on a property zoned Mixed Use Service within the Old Town Specific Plan

**Location** – 17091 D Street

**Attachments** – Attachment A – Site Plan Graphics  
Attachment B – Project Description  
Attachment C – Agency Comments Received  
Attachment D – Aerial Image

#### Public Comments

#### Adjournment



# ZONING ADMINISTRATOR STAFF REPORT

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**DATE:** December 15, 2021

**AGENDA NO. 1**

**CASE:** ADMN21-00105

**SUBJECT:** A Minor Site Plan and Minor Conditional Use Permit with an environmental exemption to allow for an automotive repair and body shop facility within an existing building on a property zoned Mixed Use Service within the Old Town Specific Plan located at 17091 D Street

**APPLICANT:** Angel Carrillo

**LOCATION:** 17091 D Street

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## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

- 1. Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
- 2. Minor Conditional Use Permit** – Approve the Minor Conditional Use Permit portion of Case No. ADMN21-00105, subject to the recommended Conditions of Approval; and
- 3. Minor Site Plan** – Approve the Minor Site Plan portion of Case No. ADMN21-00105, subject to the recommended Conditions of Approval.

## **II. SUMMARY:**

The applicant is requesting approval of this Minor Conditional Use Permit and Minor Site Plan in order to allow for the use of the existing site as an automobile repair facility. The proposed facility located at the westerly corner of D Street and 11<sup>th</sup> Avenue includes the renovation of the existing non-conforming site to meet current Development Code standards relating to parking, site access, landscaping, fencing, trash enclosure, and site maintenance. The existing site is comprised of an office building abutting the D Street frontage of the site, and a metal building along the rear property line. Site improvements noted above as well as the addition of a spray booth and the associated repair services taking place at the rear of the site within the metal building and behind required screening will ensure that the facility is adequately screened from public view during business hours. Additionally, primary views from the abutting D Street (a Major Arterial roadway) will consist of an updated frontage that includes new perimeter landscaping, new parking, and a refurbished building. As proposed and with the included Conditions of Approval, Staff finds that the proposal meets the requirements of the Old Town Specific Plan as well as the applicable components of the Development Code.

### III. STAFF ANALYSIS:

#### 1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for the permitting, licensing, and minor alteration of existing structures involving negligible or no expansion of use. Since the proposed automobile repair facility will utilize an existing site with no building expansion, and because of the site's historic industrial nature (previous user was a propane business) which the proposal will not intensify, Staff finds that this exemption is applicable and will not constitute an expansion of use.

#### 2. Minor Conditional Use Permit.

##### **Business Operations**

- As discussed in the summary, the proposed automobile repair facility that includes auto body and paint work will utilize an existing site and provide repair services within the metal building at the rear of the site, while the front building will be used as office, reception, and lobby area. Additionally, a portion of the metal building will be demolished to accommodate a spray booth.
- Proposed hours of operation, services to be provided, and other operational details were provided by the applicant in the business description (Attachment B) as follows:
  - Hours of Operation: Monday-Friday 8AM-5PM and Saturday 8AM-3PM
  - Services Provided: Automobile body, paint, restoration, and collision repair as well as alignment, and exhaust work (e.g. muffler and catalytic converter)
  - Number of Employees: 3-5 Maximum

Conditional Use Permit Condition 1 has been added to memorialize these operations and to ensure any future adjustments are in accordance with the Municipal Code and Old Town Specific Plan in a manner that does not cause non-compliance with the findings made in conjunction with this project.

- The proposed automobile repair facility is located within the Mixed Use Service District that is intended to provide for neighborhood oriented commercial and service uses such as this proposal. Staff finds the use and the subject site in accordance with the intent of the district and a complimentary use to the existing automobile repair in the vicinity.

##### **Required Findings**

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
  - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
    - Comment: The underlying Mixed Use Service (MUS) zoning of the property conditionally permits automobile repair facilities such as this proposal. Additionally, the facility will serve the needs of local residents and the proposal meets all applicable development standards as conditioned in accordance with the Old Town Specific Plan.

- *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
  - Comment: The site has a General Plan designation of Specific Plan with a Zone District that conditionally allows for the proposed automobile repair facility. Policy 1.2.2 of the Land Use Element of the General Plan is to “Ensure the integrity of each land use district is maintained”, which will be achieved by this proposal due to the proposal meeting the intent and objectives of the underlying zone district. Additionally, neighboring land uses (e.g. tires, radiators, repair facilities, etc.) cater to automobiles and this proposal will strengthen this automobile oriented base without affecting the integrity of the district.
- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
  - Comment: Since the proposed automobile repair facility is located along a Major Arterial roadway and is intended to serve motorists and local residents on a small scale, the proposal will not generate traffic in an amount that would overload the capacity of the street system or create a hazard to public safety.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
  - Comment: The existing site as proposed, including improvements to parking, landscaping, fencing, and the trash enclosure, as well as in conjunction with the proposed Conditions of Approval, will comply with each applicable provision of Title 16 as well as the Old Town Specific Plan.

### 3. Minor Site Plan

#### **Title 16 Requirements**

- The existing facility will include improvements to the following areas in accordance with the provisions of Section 16-3.05.060(c) of the Development Code:
  - Updated perimeter landscaping and planters at the base of the office building in accordance with Title 16;
  - Updated parking design and layout, including the appropriate quantity of off-street parking spaces and sufficient emergency access;
  - Removal of chain link fencing and installation of masonry and wrought iron fencing sufficient to screen outdoor storage areas; and
  - A new trash enclosure in accordance with current Development Code standards.
- Parking standards require 1 space for each 500 sq. ft. of floor area for commercial uses within the Mixed Use Service Zone of the Old Town Specific Plan. Based upon the submitted plans, 5 spaces are required ( $[776 \text{ sq. ft. office} + 1,880 \text{ sq. ft. repair buildings}] / 500 \text{ sq. ft.} = 5.3 \text{ spaces}$ ). As proposed, the site meets parking requirements with 9 spaces provided, creating a surplus of 4 spaces.

- In addition to the improvements previously noted, Site Plan Conditions 7, 8 & 17 have been added in order to provide complete conformance with the applicable provisions of the Development Code. The noted Conditions are in reference to the following:
  - The final design and placement of the spray booth to be reviewed prior to building permit issuance in order to confirm compliance with applicable development standards and adequate screening.
  - Building colors to be determined and finalized prior to the issuance of a building permit.
  - Landscape planters required at the end of parking rows at all parking areas, including those areas abutting the office building; and
- The proposed building elevation changes to the office building are generally in accordance with the Commercial Design Guidelines and the Old Town Specific Plan as they maintain historic “Route 66” mid-century designs elements such as battered walls, roof overhangs with a single slope roof and floor to ceiling windows
- Undergrounding of utilities may be required at the site based upon any future need for new utility connection points, upgraded capacity, or improvements totaling over 10% of the sites fair market value. Additionally, if improvements on-site exceed \$32,000, street improvements will be required. In light of these requirements, Staff has included Site Plan Condition 21, permitting suspension of these requirements by the Planning Commission should they be found not to negatively affect the public health, safety and welfare due to the sites conformance with the allowances provided Planning Commission Policy PCP-09-001.

#### **Comments Received**

- As a result of a request for comments and review of the subject project, Staff has received the following comments (Attachment C) that have been adequately addressed as conditions of approval as discussed below:
  - Sanitation Comments – The City’s Sanitation Division has raised concerns with ongoing access to the proposed trash enclosure given the propensity for auto repair facilities to park vehicles in locations that block refuse collection vehicles. Site Plan Conditions 15 & 16 have therefore been included to address vehicle storage, access, and the trash enclosure design.
  - Mojave Desert Air Quality Management District – Comments regarding fugitive dust and district permits for equipment as well as the proposed spray booth have been addressed via Site Plan Condition 22 (and Conditional Use Permit Condition 10).
  - California Department of Transportation (Caltrans) – Comments regarding a required Traffic Impact Study and a VMT analysis have been included as Site Plan Condition 23. Additionally, should Caltrans require adjustments to the proposal, Site Plan Conditions 3 & 4 will address any future proposed changes accordingly.

**Scope of Review**

- In accordance with Section 16-3.01.030 of the Development Code, Staff finds that the proposed Minor Site Plan meets the requirements of Title 16 as follows:
  - The location of the proposed use with automobile repair at the rear of the site ensures sufficient screening of the work area as proposed and utilizes the existing characteristics of the site such as buildings and access; and
  - Adverse impacts to surrounding properties will be minimized due to the work areas screened location and site improvements that improve the aesthetics of the existing site in conformance with the Development Code; and
  - Surrounding uses will be minimally disrupted due to the proposals existing location and included site improvements; and
  - As proposed and conditioned, the Minor Site Plan fulfills the applicable requirements of the Development Code and the Old Town Specific Plan.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Vacant Buildings	Specific Plan	Mixed Use Service*	Old Town Specific Plan
North	Manufacturing	Specific Plan	Mixed Use Service*	Old Town Specific Plan
South	Mortuary / Memorial Park	Commercial	C-2T	N/A
East	Manufacturing	Specific Plan	Mixed Use Service*	Old Town Specific Plan
West	Auto Repair	Specific Plan	Mixed Use Service*	Old Town Specific Plan

\* The Zoning designation of these properties is as outlined by the Old Town Specific Plan.

**NUMBER OF RADIUS LETTERS MAILED: 21**

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Attachments:

- Attachment A – Site Plan Graphics
- Attachment B – Project Description
- Attachment C – Agency Comments Received
- Attachment D – Aerial Image

THE ZONING ADMINISTRATOR’S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL  
ADMN21-00105  
December 15, 2021

**Minor Conditional Use Permit**

**Planning Conditions:**

1. This approval is to allow for an automobile repair facility at 17091 D Street with the following operations:
  - Hours of Operation: Monday-Friday 8AM-5PM and Saturday 8AM-3PM
  - Services Provided: Automobile body, paint, restoration, and collision repair as well as alignment, and exhaust work (e.g. muffler and catalytic converter)
  - Number of Employees: 3-5 Maximum

The Zoning Administrator reserves the right to adjust, modify, or add uses and/or operations to the facility upon written request from the business owner and/or property owner, providing any change is in accord with the findings presented in the accompanying Staff Report.

2. This Minor Conditional Use Permit is contingent upon the completion/fulfillment of the required conditions and site improvements approved in conjunction with the associated Minor Site Plan.
3. The proposed improvements and use shall comply with all applicable development standards of Title 16 and the Old Town Specific Plan.
4. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, the Old Town Specific Plan, and/or conditions of approval.
5. Any expansion of the proposed use beyond the scope of this Minor Conditional Use Permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
6. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
7. All work on vehicles shall be performed indoors and any outdoor storage of vehicles that are dismantled, partially dismantled, or on a visible state of repair is prohibited. Additionally, vehicles waiting to be repaired or that do not appear to be in a visible state of repair are permitted to be stored within an approved area at the rear of the site screened from public view by a combination of decorative walls, fences, and landscaping provided no actual repair work is performed outdoors. Any proposed outdoor areas used to store vehicles shall be subject to review and approval by the Zoning Administrator, Fire Department, Sanitation Division, and Burrtec to ensure sufficient screening and maintain adequate emergency access and refuse collection vehicle access.
8. All proposed signs, including any freestanding signage, shall comply with Title 16 and the Old Town Specific Plan. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16 or the Old Town Specific Plan. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.



9. All proposed temporary signage shall comply with Title 16 and the Old Town Specific Plan. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
10. As required by the Mojave Desert Air Quality Management District (MDAQMD), fugitive dust best management practices (including but not limited to applicable provisions of MDAQMD Rule 403) shall be implemented on all non-paved transport roads, access points, and parking areas. Additionally, prior to the issuance of a building permit the applicant shall consult with the MDAQMD and obtain permits for any miscellaneous process equipment that may not be exempt under MDAQMD Rule 219 including, but not limited to: surface coating and spray coating equipment; internal combustion engines with a manufactures maximum continuous rating greater that 50 brake horsepower; and equipment with a capacity of 793 gallons (3,000 liters) or more used exclusively for the storage and transfer of any oil that has been used for its intended purpose and is subsequently designated for disposal or recycling.
11. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
12. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.
13. The project shall comply with all Federal, State and local laws and policies, including: the California Government Code (including the Planning, Zoning and Development Laws), Environmental Quality Act (CEQA), Subdivision Map Act, International Building Code, Green Code, Fire Code; and, Victorville General Plan and Municipal Code; unless permitted to deviate through provisions of such, or through adopted mitigation measures, conditions of approval, or the plans themselves.

**Building Conditions:**

14. The project shall comply with all building codes in effect at the time of plan submittal.
15. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
16. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Tools for estimating total permit fees are available on the City's website at <https://www.victorvilleca.gov/government/city-departments/development/permit-center/fees-forms>. Actual amounts owed will be determined upon submittal of the plans via the City's online permit center.

**Fire Conditions:**

17. Shall comply with all current Building and Fire Code requirements based on occupancy classification.

CONDITIONS OF APPROVAL  
ADMN21-00105  
December 15, 2021

**Minor Site Plan**

**Planning Conditions:**

1. This approval is to allow for site improvements on the subject parcel regarding parking, landscaping, trash enclosures, walls/fences, partial metal building demolition, addition of a spray booth and building aesthetic improvements in concurrence with the accompanying Minor Conditional Use Permit at 17091 D Street.
2. The proposed improvements and use shall comply with all applicable development standards of Title 16 and the Old Town Specific Plan and shall be general compliance with the Commercial Design Guidelines and Old Town Specific Plan Design Guidelines.
3. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, the Old Town Specific Plan, and/or conditions of approval.
4. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in noncompliance with the parking standards of Title 16, shall cause that use to be subject to Planning Commission review and approval.
5. The number and location of all handicapped parking spaces shall be subject to Development Department review and approval.
6. The development shall be in substantial conformity with the architectural elevations and renderings submitted with this application, unless modification is required by condition.
7. The spray booth design and placement shall be subject to Zoning Administrator review and approval prior to building permit issuance. Applicable development standards including height, setbacks, and design shall be addressed in the site plan with adequate fence, wall, and/or landscaping screening provided as deemed necessary by the Zoning Administrator.
8. Building colors shall be finalized prior to the issuance of a building permit, which will require selection or primary and trim colors. Final approval shall be made by the Zoning Administrator prior to the issuance of a building permit.
9. All proposed signs, including any freestanding signage, shall comply with Title 16 and the Old Town Specific Plan. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16 or the Old Town Specific Plan. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
10. All proposed temporary signage shall comply with Title 16 and the Old Town Specific Plan. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.

11. Any new rooftop and/or ground-mounted equipment visible from public right-of-ways shall be screened from view and architecturally integrated into the building.
12. Any new wall mounted utility equipment (i.e. meters, panels, boxes, conduit etc.) shall not be visually exposed on the building. This type of equipment shall be internally located, screened with landscaping or covered in a manner that is architecturally integrated into the design of the building, subject to the review and approval of the Director of Development.
13. Any new roof drains (i.e. scuppers and down spouts) shall not be visually exposed on the building(s). Roof drains shall be internally located, subject to the review and approval of the Development Director.
14. Any new electrical transformers and associated bollards shall be delineated on the site plan, landscape plan and utility plan. This equipment shall be appropriately screened from view, should not be placed adjacent to public areas and shall not encroach into required planters and/or parking stalls. The location of this equipment shall be subject to the review and approval of the Director of Development and shall correspond with the utility company's approved location.
15. The applicant shall install a trash enclosure in conformance with Section 16-3.24.110 of the Victorville Municipal Code. The enclosure shall have solid block walls with non-transparent metal gates, a solid roof/cover that is architecturally compatible with the primary building(s) onsite and serves to protect the refuse area from inclement weather, as well as wrought iron that fully encloses the trash enclosure between the block wall/metal gates and the roof to prevent unauthorized entry. Additionally, all trash enclosures shall include "walk-in" rear or side access for pedestrian use. The location, design and quantity of said enclosures shall be subject to Planning Staff, Sanitation Division Staff, and Burrtec review and approval prior to building permit issuance to ensure Municipal Code compliance and unobstructed access to the enclosure.
16. All work on vehicles shall be performed indoors and any outdoor storage of vehicles that are dismantled, partially dismantled, or on a visible state of repair is prohibited. Additionally, vehicles waiting to be repaired or that do not appear to be in a visible state of repair are permitted to be stored within an approved area at the rear of the site screened from public view by a combination of decorative walls, fences, and landscaping provided no actual repair work is performed outdoors. Any proposed outdoor areas used to store vehicles shall be subject to review and approval by the Zoning Administrator, Fire Department, Sanitation Division, and Burrtec to ensure sufficient screening and maintain adequate emergency access and refuse collection vehicle access.
17. The applicant/developer shall provide landscaping/irrigation plans in accordance with Chapter 13.60 of the Victorville Municipal Code, entitled Water Conservation. The landscape plan shall include all planters within the parking area and any planter abutting a public right-of-way. Landscape areas shall not exceed a slope of 3:1 and shall also meet Title 16 standards, including the minimum interior percentage of landscaping and the maximum dispersal of landscaping within a parking lot, and a permanent watering system. The landscaping plan shall include a minimum of one 24-inch box tree for every eight parking spaces provided on-site, unless otherwise approved by the Zoning Administrator. In addition, the landscaping plan shall include the maximum spacing of all plants as follows, unless otherwise approved by the Zoning Administrator:
  - A. Ground cover – eighteen inches on center
  - B. One gallon plants – three feet on center
  - C. Five gallon plants – five feet on center

In addition, a note shall be conspicuously placed on the landscape plan indicating the following: Any discrepancy between the maximum spacing criteria and the number of plants shown on the landscape plan shall result in the spacing criteria superseding any other information shown on the landscape plan.

18. A six-inch wide planter curbing, in accordance with Engineering Standard S-09, is required along the perimeter of all landscaped areas, including planters that abut the public right-of-way sidewalk. All planter strips abutting a public right-of-way and planter islands/landscape fingers shall be a minimum interior width of five feet, exclusive of curbing. The grading and site plans shall clearly show all required curbing.
19. Landscape planters a minimum of 5-foot interior width shall be installed at the end of all parking rows. These improvements shall be included on any applicable building permits reviewed and approved by the Development Department.
20. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
21. A suspension agreement for the undergrounding of utilities and street improvements may be approved by the Planning Commission as authorized the Title 9 and Title 16 of the Municipal Code, and in accordance with Planning Commission Policy PCP-09-001. Any such suspension request shall be applied via a Site Plan Modification with appropriate fees and submittal requirements.
22. As required by the Mojave Desert Air Quality Management District (MDAQMD), fugitive dust best management practices (including but not limited to applicable provisions of MDAQMD Rule 403) shall be implemented on all non-paved transport roads, access points, and parking areas. Additionally, prior to the issuance of a building permit the applicant shall consult with the MDAQMD and obtain permits for any miscellaneous process equipment that may not be exempt under MDAQMD Rule 219 including, but not limited to: surface coating and spray coating equipment; internal combustion engines with a manufactures maximum continuous rating greater that 50 brake horsepower; and equipment with a capacity of 793 gallons (3,000 liters) or more used exclusively for the storage and transfer of any oil that has been used for its intended purpose and is subsequently designated for disposal or recycling.
23. Prior to the issuance of a building permit, the applicant shall consult with the California Department of Transportation (Caltrans) and complete a Traffic Impact Study that also includes traffic safety review and vehicle miles traveled (VMT) analysis to accurately evaluate the extent of potential impacts of the project to the operational characteristics of the existing State facilities by the project area. In the event of mitigation measure is determined to encroach into State Right-of-Way, either as proposed or later modified, issuance of a Caltrans Encroachment Permit will be required. Any mitigation measures required by Caltrans shall be completed prior to or in conjunction with the associated City of Victorville building permit, as deemed applicable by the City Planner and City Engineer.
24. Prior to the release of any utilities for the use, all Title 16 improvements for the project shall be installed or a bond posted in the amount of one hundred fifty percent (150%) of the value of the uncompleted work shall be submitted to the Development Department, unless otherwise deemed unnecessary by the Director of Development. Any modifications to the amount of the bond shall be subject to review and approval by the Director of Development only if the Director finds that there are circumstances unique to the use that is not applicable to other uses.

25. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
26. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.
27. The project shall comply with all Federal, State and local laws and policies, including: the California Government Code (including the Planning, Zoning and Development Laws), Environmental Quality Act (CEQA), Subdivision Map Act, International Building Code, Green Code, Fire Code; and, Victorville General Plan and Municipal Code; unless permitted to deviate through provisions of such, or through adopted mitigation measures, conditions of approval, or the plans themselves.

**Engineering Conditions:**

28. The developer shall dedicate an easement for public right-of-way to the City of Victorville for the following in accordance with the Circulation Element of the General Plan:
  - i. 50-feet from the centerline of improvements for D Street.
  - ii. D Street and Eleventh Street SW Corner: Corner cut-off/chamfer to accommodate a 30-foot radius curb return and City standard accessibility ramp.
29. The developer shall install all improvements required by Section 9.32.040 of the Victorville Municipal Code (including curbs, gutters, sidewalks, pavement widening, drive approaches, street lighting, and drainage facilities) along the street frontages of the project (D Street and Eleventh Street), in accordance with the Standard Specifications for Public Improvements of the City of Victorville. The required street improvements include:
  - i. The widening and striping of the pavement along the Eleventh Street frontage such that the curb face alignment is 20-feet from the centerline of improvements. The existing AC pavement shall be rehabilitated to City Standards to the centerline of improvements.
  - ii. The installation of curb & gutter per City Standard S-01 along the Eleventh Street frontage
  - iii. The installation of a commercial driveway on the Eleventh Street frontage per City Standard No. S-03.
  - iv. The removal & replacement of the commercial driveway on the D Street frontage per City Standard No. S-03.
  - v. The installation of a curb ramp at the southwest corner of D Street and Eleventh Street per City Standard No. S-11B.
30. A permit issued by Caltrans shall be required prior to the commencement of any work performed within the public right-of-way along D Street.
31. The developer shall complete a Traffic Impact Study that also includes traffic safety review and vehicle miles traveled (VMT) analysis to accurately evaluate the extent of potential impacts of the project to the operational characteristics of the existing State facilities by the project area. The TIA shall be subject to the review & approval of both the City and Caltrans.
32. Street improvement plans for all required curb, gutter, sidewalks, pavement widening, driveway approaches, street lighting, drainage, and other improvements within public right-of-way shall be submitted to the Development Department for review and approval by the City Engineer.

33. A signing and striping improvement plan shall be submitted to the Development Department for review and approval by the City Engineer.
34. The site and public walkways shall be designed and constructed for accessibility in compliance with the guidelines of the Americans with Disabilities Act Standards for Accessible Design and the Standard Specifications for Public Improvements of the City of Victorville.
35. A permit issued from the City's Engineering Department is required prior to commencement of any work performed within public right-of-way and the City's inspection process followed for the connection to and construction of any facilities that are to be dedicated to, owned and maintained by the City.
36. In accordance with State Water Quality Resources Board requirements, the developer shall implement measures for site design, source control, run-off reduction, storm water treatment and baseline hydro modification as defined by the Phase II Small MS4 Permit. This includes measures installed such that post-development peak storm water runoff discharge rates do not exceed the estimated pre-development rate, and on-site post-construction BMPs for treatment of storm water run-off.
37. The developer shall prepare a water quality management plan for the on-site post-construction BMPs for treatment of storm water run-off. The project property owner shall enter into a maintenance agreement with the City for the water quality management plan.
38. A grading plan/site improvement plan shall be submitted to the Development Department for review and approval. The grading plan shall address all on-site and off-site drainage issues, including nuisance water and flows entering and exiting the site. A final drainage study shall be submitted with the grading plan. The developer shall provide hydrology and hydraulic calculations to size any drainage structure included in the grading plan design.
39. Grading operations and construction shall be conducted in a manner and/or measures taken to prevent sand, dust, and debris to blow onto other properties. An adequate dust palliative shall be used at all times. After completion of grading the developer shall maintain the site such that sand, dust and debris do not blow onto other properties.
40. Temporary fencing shall be erected as required by City staff during construction to prevent windblown debris from leaving the project site and to ensure public safety.
41. If landscaped areas equal or exceeds 1,000 square feet than a separate irrigation with an RP device shall be required. A reduced pressure backflow device per City standard W-39 must be installed behind the domestic water meter serving the site. A Fire Service Reduced Pressure Detector Assembly per City standard W-28 shall be installed on the fire protection service if on-site protection is required. The developer shall submit plans for water service connections and valves to the Development Department for review and approval by the City Engineer. A current water service will serve letter from Victorville Water District is required with the plan submittal. Water service shall be subject to the conditions within the will serve letter.
42. This project requires a connection to the City's sewage collection system. All improvements shall be installed by the developer in accordance with the Standard Specifications for Public Improvements of the City of Victorville. Sewer improvement plans shall be submitted to the Development Department for review and approval by the City Engineer.

43. A permit issued from the City's Engineering Department is required for the connection to the City's sewer and water systems.
44. All public utility distribution lines, including service lines to the site, shall be installed by the developer.
45. The developer shall be responsible for all costs (including application fees) incurred due to the relocation of existing utility facilities where such facilities conflict with the improvements associated with this project.
46. Landscaping within the traffic sighting distance triangle at intersections and driveway connections to public streets shall be limited to ground cover only and shall not include shrubs and trees.
47. The developer shall pay any and all fees and charges that may become effective prior to the issuance of a building permit or utility connection, and shall pay such fees as a condition of obtaining a building permit.
48. Prior to construction of any improvements or any land disturbance, the developer shall construct temporary drainage facilities and provide erosion control measures as necessary to minimize storm water run-off, erosion, and silt deposition. The developer shall provide an erosion control plan of the Best Management Practices to be implemented during construction. The National Pollutant Discharge Elimination System (NPDES) stormwater permit program requires operators of construction sites one acre or larger (including smaller sites that are part of a larger common plan of development) to obtain an NPDES permit, and prepare a Storm Water Pollution Prevention Plan (SWPPP). A copy of the SWPPP, and an erosion control plan shall be submitted to the Development Department. All NPDES guidelines must be adhered to, and best management practices followed at all times during construction.
49. A boundary survey must be performed and property corners verified prior to construction to facilitate the placement of improvements per plan direction. The developer's engineer shall provide a horizontal control plan to the City for review or provide adequate control/dimensioning on the site/grading plan.
50. The method of installation (trenching or boring) for connections to existing utilities (sewer, water, storm drain, etc.) within paved streets shall be subject to approval by the City Engineer.
51. On-site drainage to streets shall be conveyed through parkway drains or as approved by the City.
52. An application for plan review and an engineer's construction cost estimate for civil improvements shall be required at the time of initial improvement plan submittal. Payment of plan and map check fees as per the City's Development Department Engineering Plan Check Fee Schedule based on the engineer's cost estimate shall be required with the plan submittal.

**Building Conditions:**

53. The project shall comply with all building codes in effect at the time of plan submittal.
54. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.

55. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Tools for estimating total permit fees are available on the City's website at <https://www.victorvilleca.gov/government/city-departments/development/permit-center/fees-forms>. Actual amounts owed will be determined upon submittal of the plans via the City's online permit center.

**Fire Conditions:**

56. Shall comply with all current Building and Fire Code requirements based on occupancy classification.
57. Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.
58. Interior/exterior Fire Department access roadways/fire lanes shall be required per Fire Department Standard. Fire Department access roadways providing access to the buildings in this project shall be a minimum of 26 feet wide and shall be directly adjacent to 2 sides of the building. If gates, installed must comply with Fire Department Standards.
59. Knox Box/Key Box is required and shall be provided and installed in accordance with Fire Department Standards.



# ATTACHMENT A

# General Commercial (C2) Auto Repair Shop & Body Shop

'D' STREET (HWY 18)  
VICTORVILLE, CA

APN: 0478-204-14

APN: 0478-201-15 & 16

LOTS 7-12, 21 & 22, M.B 935

KEY NOTES	
1	EXISTING CURB & GUTTER TO REMAIN
2	EXISTING SIDEWALK TO REMAIN
3	EXISTING DRIVE PER CITY OF VICTORVILLE STANDARDS TO REMAIN
4	ADD ADA STALL AND SIGNAGE, SEE DET. & NOTES ON SHEETS AD1, AD2 & AD3.
5	ADD ADA ACCESS AISLE, 4' WIDE 45° DIAGONAL STRIPING AT 36" O.C.
6	INSTALL 6" HIGH PRE-CAST CONCRETE WHEEL STOPS, TYP.
7	CONSTRUCT TRASH ENCLOSURE PER CITY STD.
8	CONSTRUCT CONCRETE SIDEWALK PER CITY STD.
9	CONSTRUCT CURB RAMP PER ADA CITY STANDARDS FOR WHEEL CHAIR APPROACH 5-1.1A.
10	NEW STANDARD PARKING STALLS
11	INSTALL MONUMENT SIGN WILL BE APPROVED UNDER A SEPARATE PERMIT. SIGNS ARE NOT APPROVED AS PART OF THIS PROCESS.
12	EXISTING ELECTRICAL VAULT TO REMAIN
13	EXISTING WATER VALVE TO REMAIN
14	EXISTING AC CURB TO BE REMOVED
15	EXISTING FIRE HYDRANT TO REMAIN
16	CONSTRUCT NEW 5' WIDE PLANTER
17	INSTALL NEW 2'-0" HIGH WROUGHT IRON FENCE
18	CONSTRUCT 6" HIGH CONCRETE CURB
19	EXISTING WATER METER TO BE RELOCATED TO PUBLIC RIGHT-OF-WAY
20	EXISTING FENCE TO BE REMOVED
21	EXISTING MAILBOX TO REMAIN
22	PROPERTY LINE
23	REMOVE EXISTING CHAIN LINK FENCE
24	EXISTING POWER POLE TO BE RELOCATED
25	EXISTING GAS METER TO BE RELOCATED
26	EXISTING GUY WIRES TO REMAIN IN PLACE
27	CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD 5-03.
28	INSTALL NEW WASTE LINE (SEE CIVIL PLANS)
29	CONSTRUCT CURB & GUTTER PER CITY STD. 5-01 & 5-04
30	EXISTING WROUGHT IRON FENCE TO BE REMOVED
31	EXISTING SEWER CLEAN
32	INSTALL STORMTECH UNDERGROUND RETENTION PER HESPERIA DEVELOPMENT CODE.
33	INSTALL KNOX BOX
34	TREE TO REMAIN IN PLACE
35	CONSTRUCT 6" HI DECORATIVE MASONRY SCREEN WITH WROUGHT IRON FENCE
36	INSTALL NEW 8' HIGH WROUGHT IRON FENCE
37	INSTALL NEW REDUCED PRESSURE BACKFLOW DEVICE
38	DEMO 600sq.ft. OF EX. METAL BLDG FOR NEW SPRAY BOOTH.
39	INSTALL NEW AWNING COVER FOR SPRAY BOOTH

## LOT INFORMATION

ASSESSOR'S PARCEL NUMBERS:  
0478-204-14  
0478-201-15  
0478-201-16

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF VICTORVILLE, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7,8,9,10,11,12,21 AND 22, BLOCK 30, TOWN OF VICTORVILLE, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 9, PAGES 35 OF MAPS, RECORDS OS SAID COUNTY.

## ZONING

GENERAL COMMERCIAL (C2)

## AREA TABULATION

LOT 14 NET AREA: 24,937 sq.ft.  
LOT 14 GROSS AREA: 29,247 sq.ft.

LOT 15 & 16 NET AREA: 25,090 sq.ft.  
LOT 15 & 16 GROSS AREA: 29,400 sq.ft.

OFFICE 776 sq.ft.  
SHOP 1800 sq.ft.  
GROSS FLOOR AREA 2,576 sq.ft.

LANDSCAPE 8,835 sq.ft. (5.6%)

PARKING: 10,560 sq.ft. (%)

HARDSCAPE / ACC: 1,284 sq.ft. (%)

## PARKING TABULATION

USE	AREA	REQUIRED
OFFICE	3375	25
GARAGE	4800	18
TOTAL REQUIRED		45

PROVIDED	8	9x18' SPACES
	1	HC ACCESSIBLE SPACES
TOTAL	9	SPACES

**BASIS OF BEARINGS:**  
THE CENTERLINE OF 11TH ST. PER AMENDED MAP OF VICTORVILLE M.B. 19/89.  
BEING: N43°28'00"E

**SURVEYOR'S NOTE:**  
TOPOGRAPHIC SURVEY PROVIDED BY MARK WARE LAND SURVEYING, DATED MARCH 2017

THIS IS A TOPOGRAPHIC SURVEY FOR GRADING PURPOSES ONLY, AND NOT A BOUNDARY SURVEY. THE BOUNDARY SHOWN HEREON, IS BASED ON RECORD DATA ONLY. ANY FOUND MONUMENTS SHOWN HEREON WERE MERELY DISCOVERED DURING THE COURSE OF THE TOPOGRAPHIC SURVEY, AND ARE SHOWN FOR REFERENCE ONLY. THE ACCURACY OF THEIR POSITIONS WERE NOT VERIFIED. ANY LATH SET AROUND THE PROJECT LIMITS ARE FOR CLEARING, GRUBBING AND GRADING LIMITS ONLY AND DO NOT REPRESENT THE ACTUAL PROPERTY CORNERS AND OR LINES, AND SHOULD NOT BE USED FOR THE LOCATION OR CONSTRUCTION OF STRUCTURES, BUILDINGS OR FENCING.  
SURVEYOR'S NOTES:  
THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE THE EVIDENCE AND LIMITED 'USA' MARKINGS FOUND AT THE TIME OF THE FIELD SURVEY, AND DO NOT REPRESENT ALL OF THE EXISTING FACILITIES.

## LANDSCAPE NOTE

ALL LANDSCAPE PLANTERS SHALL INCLUDE PERMANENT WATERING SYSTEM.  
LANDSCAPE PLANT PALETTE, QUALITIES, SIZES, SPACING, AND ROCK MATERIALS SHALL MEET TITLE 16 LANDSCAPING STANDARDS.

## BENCHMARK

CITY OF VICTORVILLE BM-43 A BRASS DISC LOCATED ON THE EAST SIDE OF HESPERIA RD. AT FORREST AVE.  
ELEVATION: 2753.925

## T.B.M

NAIL & TAG AT THE NORTHWEST PROPERTY CORNER AS SHOWN.  
ELEVATION: 2745.92

## DESIGNER

CaSa Designs  
P.O.Box 3427  
Victorville, CA 92392  
Peter Ulloa  
PH# (760) 412-0812  
email: casadesigns247@gmail.com

## OWNER / BUILDER

AHN LAM TRAN / PHUONG NGUYEN  
1602 N. KING ST. # C2  
SANTA ANA, CA 92706  
PH# (310) 679-6811

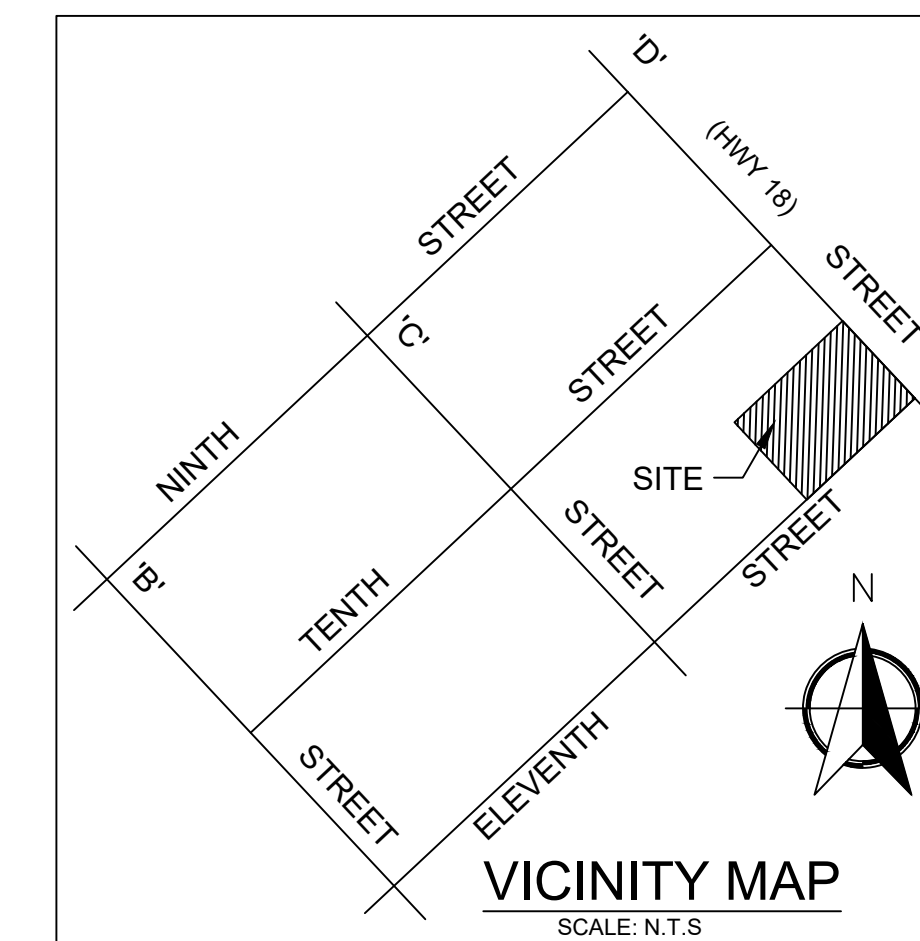
## TENANT

ANGEL CARRILLO  
CARRILLO AUTO REPAIR  
& BODY SHOP  
17091 D ST,  
VICTORVILLE, CA. 92395  
PH# (310) 940-6792

## SCOPE OF WORK

EXTERIOR: CONSTRUCT NEW LANDSCAPE PLANTERS, ADA PATH OF TRAVEL ACCESS FROM RIGHT AWAY TO BUILDING, ADA PARKING & SIGNAGE, RESURFACE ASPHALT, CANCEL EXISTING SEPTIC TANK, CONNECT TO EXISTING SEWER ON 'D' ST. REPLACE CHAIN LINK FENCE WITH WROUGHT IRON FENCING & GATES, REPLACE ALL DAMAGED WINDOWS AND NEW PAINT ON BOTH EXTERIOR BUILDINGS AS REQUIRED.

INTERIOR: REMODEL EXISTING RESTROOM TO COMPLY WITH ADA STD CODES, INSTALL NEW PLUMBING, FIX ALL EXISTING DAMAGED ELECTRICAL & LIGHTING, UPGRADE SERVICE PANEL, REPLACE BOTH WALL MOUNTED AC UNITS WITH DUCTLESS MIN SPLIT SYSTEMS.



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CaSa Designs  
and Home Services  
P.O.Box 3427  
Victorville, CA. 92393  
ph: 760-412-0812  
email: casadesigns247@gmail.com

NO.	DATE	REVISION	BY	CHK	RVD	APPR

COMMERCIAL DEVELOPMENT  
APN: 0478-204-14  
APN: 0478-201-15, & 16  
HWY 18 'D' STREET

Designed By: P. Ulloa  
Drawn By: P. Ulloa  
Date: 06.18.2021  
Scale: As Shown  
Sheet #  
Site

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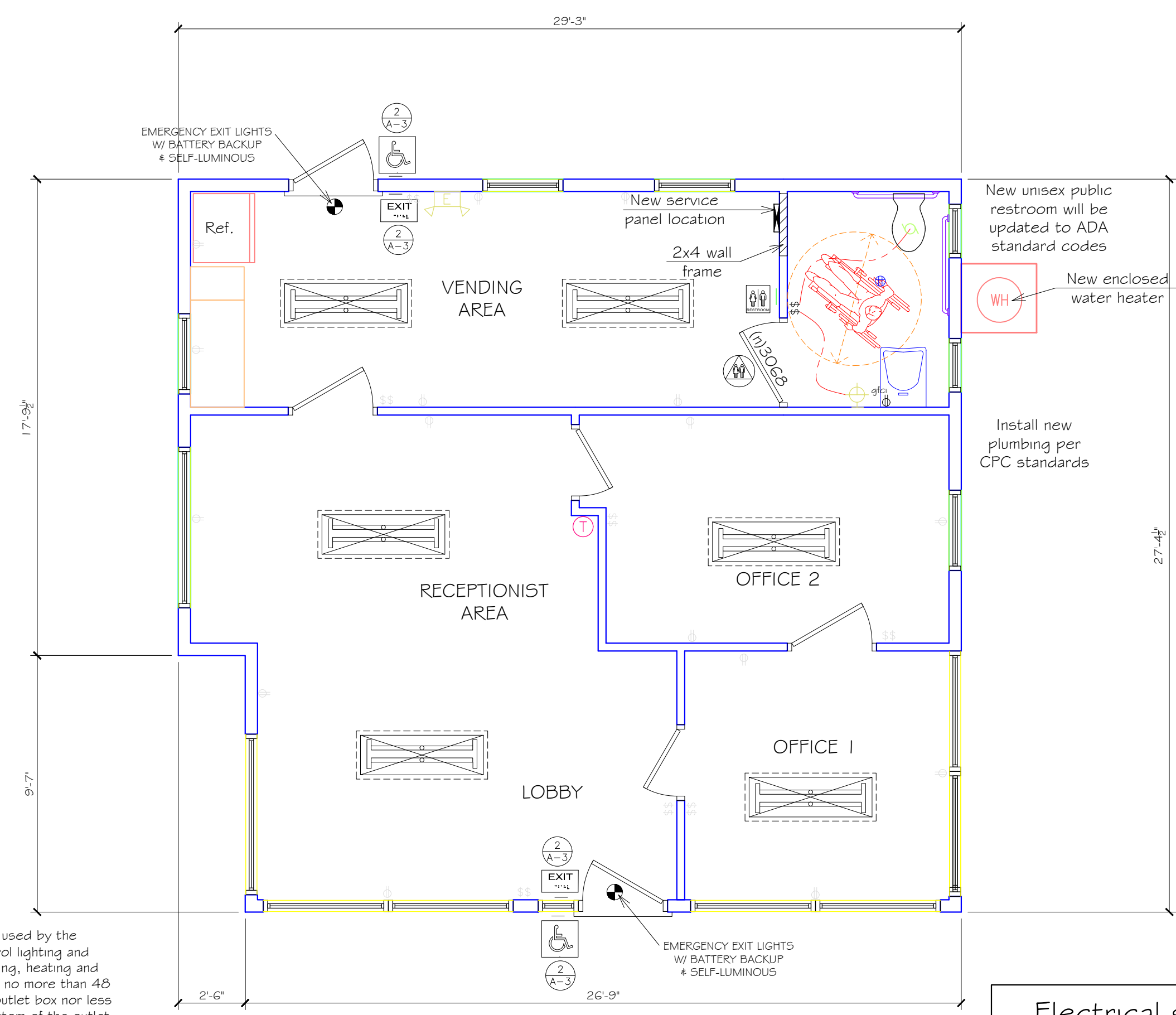
**CaSa Designs**  
and Home Services  
P.O. Box 3427  
Victorville, CA. 92393  
ph: 760-412-0812  
email: casadesigns247@gmail.com

NO.	DATE	REVISION	BY	CHK	RVD	APPR

**COMMERCIAL DEVELOPMENT**  
APN: 0478-204-14  
APN: 0478-201-15, # 16  
HWY 18 'D' STREET

Designed By: P. Ulloa  
Drawn By: P. Ulloa  
Date: 06.18.2021  
Scale: As Shown  
Sheet # **A.1**

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**RESTROOM NOTE**  
Note 1: Exhaust fan shall be electrically interconnected with light switch. Also doors shall be self-closing.  
Note 2: Restrooms shall be fully equipped with wall-mounted soap, paper towel and toilet paper dispensers.

**FIRE DEPARTMENT**  
Note 1: All doors leading into building will have a sign over the entrance which will read, "this door to remain unlocked during business hours."  
Note 2: A master key will be placed in knob box for the use by the fire department.  
Note 3: Every exit door with the exception of the main entrance shall be operable from the inside without the use of a key, tool or special knowledge or effort. special locking devices shall be of an approved type.

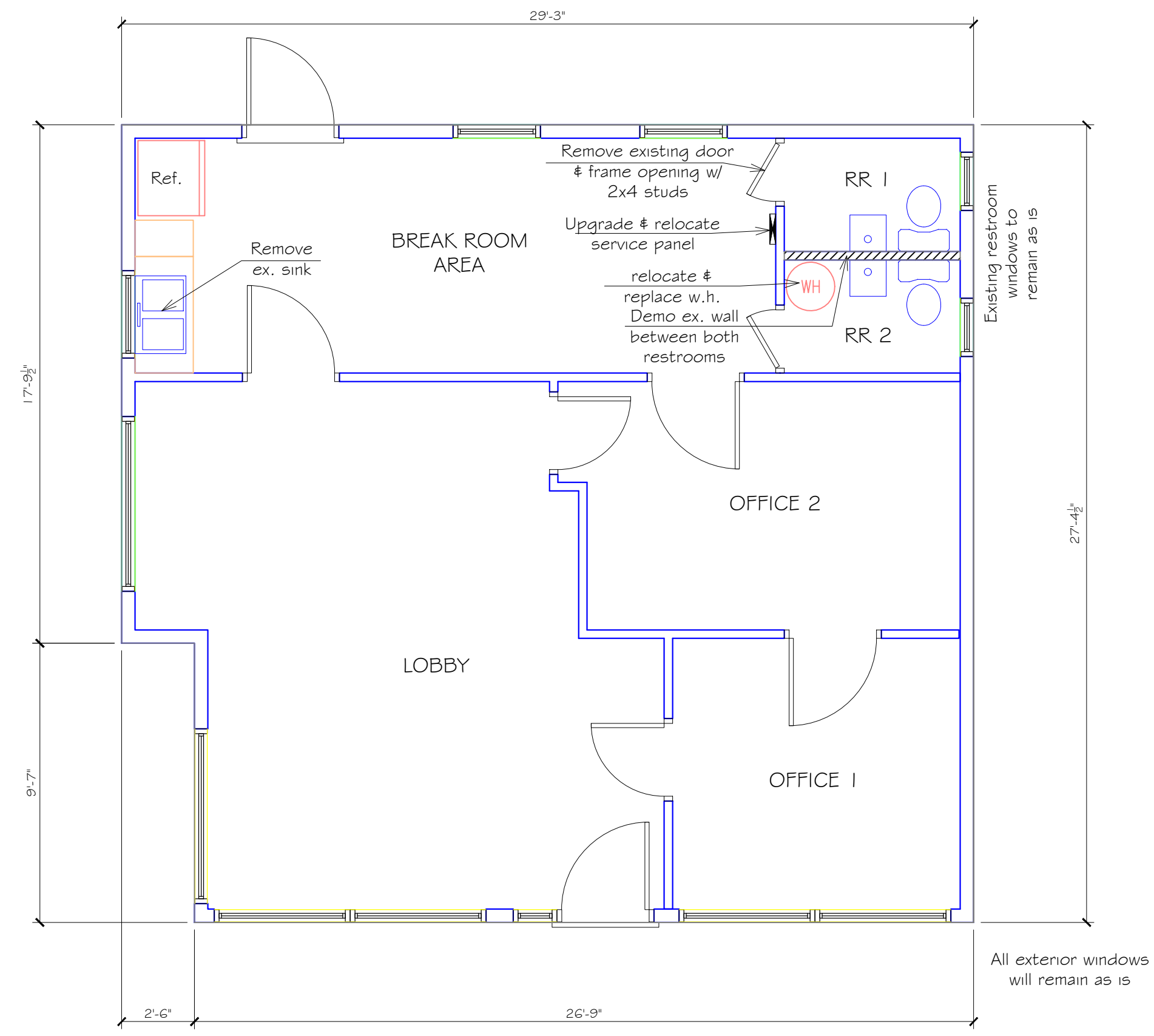
**Accessibility Notes:**  
Controls and switches intended to be used by the occupant of the room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment, shall be located no more than 48 inches measured from the top of the outlet box nor less than 15 inches measured from the bottom of the outlet box to the level of the finish floor or working platform, CBC 11B-308, 1.2.

**ILLUMINATED EGRESS SIGNAGE**

- PROVIDE TACTICAL EGRESS SIGNAGE AT ALL EGRESS DOORS. SIGNAGE SHALL CONSIST OF A SELF ILLUMINATED SIGN WITH THE WORD "EXIT" IN HIGH CONTRAST, BLACK CAPITAL LETTERS NOT LESS THAN 6" TALL WITH A STROKE OF 3/4" AND LETTER WIDTH OF 2" EXCEPT FOR THE LETTER "Y" AND LETTER SPACING OF NOT LESS THAN 3/8".
- THE SIGN SHALL BE HARDWIRED TO POWER SUPPLY AND HAVE BACKUP BATTERY POWER OF NOT LESS THAN 1.5 HOURS.
- ILLUMINATION SHALL BE PROVIDED BY 2 LAMPS OF NOT LESS THAN 2 FOOTCANDLES.
- ALL EXIT DOORS HARDWARE TO COMPLY WITH DISABLED ACCESS REQUIREMENTS. (LEVER TYPE, PUSH-PULL, PANIC, ETC. CBC 11B-404)

**Electrical special note:**  
All existing switches, outlets, interior lighting & exterior lighting will be replaced do to building being vandalized

**NEW FLOOR PLAN 776sqft.**  
SCALE 1/4" = 1'-0"



**EXISTING FLOOR PLAN 776sqft.**  
SCALE 1/4" = 1'-0"

**General Note:**

- Project Shall Comply With 2019 CBC, 2019 CMC, CPC, CEC, And 2019 NEC # Cal. Title 24
- Do not Scale Drawings. Contractor Shall Rely on Written Dimensions as Given. the Contractor Shall Notify the Designer for Clarifications, if There Are any Discrepancies in the Plans Prior to Resumption of Work.
- Dimensions Shown on Floor Plans, Sections, Elevations And Details are to Face of Stud, Unless Otherwise Noted.
- The Specifications and all Consultant Drawings are Supplemental to the Architectural Drawings. It Shall Be the Contractor's Responsibility to Coordinate With the Architectural Drawings Before the Installation of any of the Consultants' Work and to Bring any Discrepancies or Conflicts to the Designer's Attention. Improperly Installed Work Shall Be Corrected by the General Contractor at his Expense and at no Expense to the Designer his Consultants, or the Owner.

**Electrical Symbols Legend**

- ⊕ DUPLEX OUTLET
- ⊕ LED LIGHT FIXTURE
- ⊕ WALL MOUNT LIGHT FIXTURE
- ⊕ SWITCHES

**Electrical Notes:**

- Project shall comply with 2019 CBC, CMC, CRC, CPC, CEC, & CAL. Title 24
- Contractor to provide a permanent receptacle outlet and lighting fixture controlled by a switch located at the entrance for furnaces located in an attic or underfloor space. CMC
- Outdoor Lighting attached to building: High efficacy or controlled by photocell motion sensor Astronomical time clock w/ no override Energy Management control system.

**Note:**  
• ALL EXTERIOR WALLS ARE 8" CMU

**Area Tabulation:**  
Office / Lobby area 776 Sq. Ft.

**Code Summary**  
All construction of this project shall comply with the following:  
2019 CBC  
2019 CRC  
2019 CEC  
2019 CMC  
2019 CPC  
2019 CEergyC  
2019 CFC  
2019 CGB

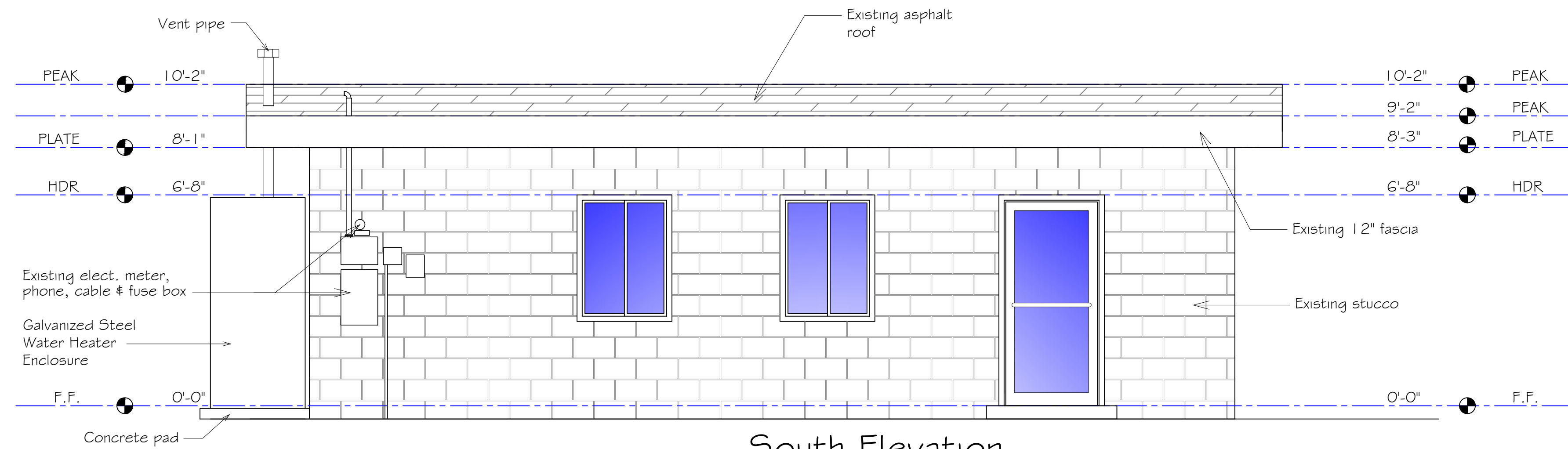
This project shall comply with all other regulations and ordinance adopted by the local governing agencies.

*Pedro Ulloa*

**General Information:**

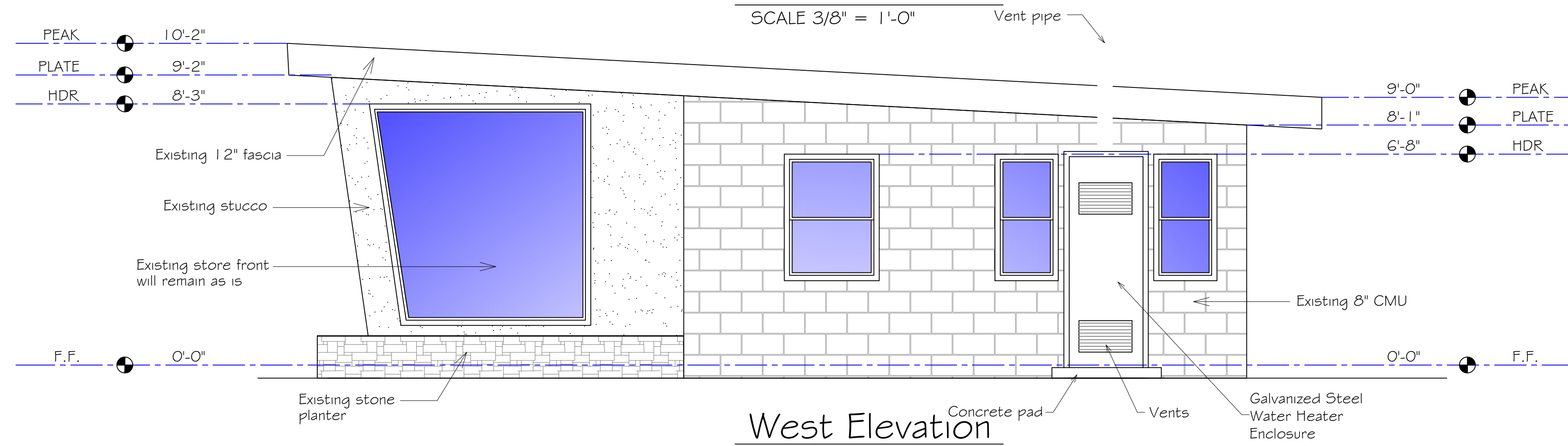
Drawing and specifications are intended to be complimentary, specific information may be found in either or both.

- Exercise proper precaution to verify all existing conditions and layout of work, contractor to notify designer of any discrepancies.
- Contractor is responsible for any error resulting from failure to exercise such precaution such error will not be considered subsequently as a basis for extra compensation. The contractor shall be responsible for layout work, all lines measurements of the building, utilities and other work executed under.
- Should a contractor find discrepancies in, or omissions from the drawings or specification. Or should he be in doubt as to their meaning, he shall at once notify the designer.
- Any discrepancies, errors or omissions discovered in the contract documents by the contractor shall be brought to the attention of the designer before proceeding with related work. otherwise the corrections of such items is the responsibility of the contractor.
- All work materials and installation shall be in strict accordance with all ordinance, state and local building codes latest edition. Design loads and code restrictions for all design considerations shall confirm to the local and state codes, and all governing codes.



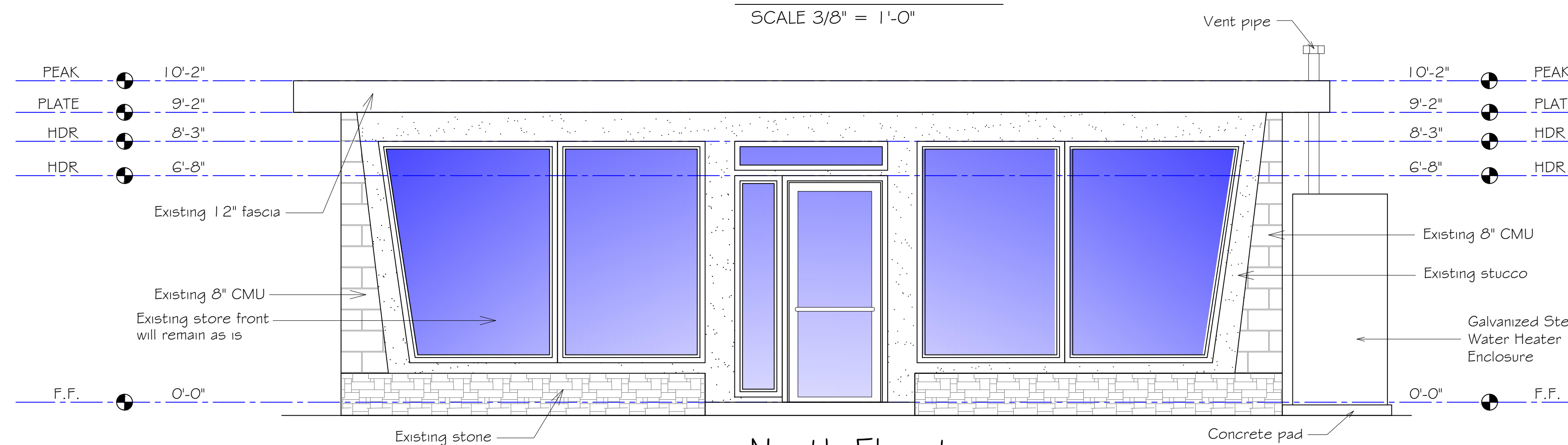
**South Elevation**

SCALE 3/8" = 1'-0"



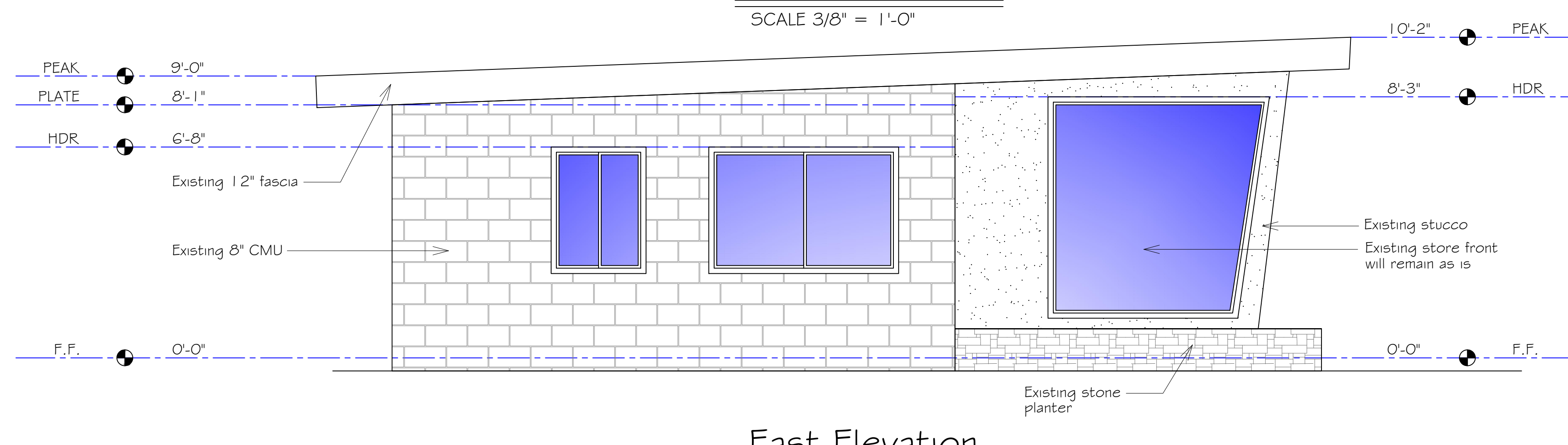
**West Elevation**

SCALE 3/8" = 1'-0"



**North Elevation**

SCALE 3/8" = 1'-0"



**East Elevation**

SCALE 3/8" = 1'-0"

**Code Summary**  
All construction of this project shall comply with the following:

- 2019 CBC
- 2019 CRC
- 2019 CEC
- 2019 CMC
- 2019 CPC
- 2019 CEergyC
- 2019 CFC
- 2019 CGB

This project shall comply with all other regulations and ordinance adopted by the local governing agencies.

*Pedro Ulloa*

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email: casadesigns247@gmail.com

NO.	DATE	REVISION	BY	CHK	R/D	APPR

**COMMERCIAL DEVELOPMENT**  
APN: 0478-204-14  
APN: 0478-201-15, # 16  
HWY 18 'D STREET'

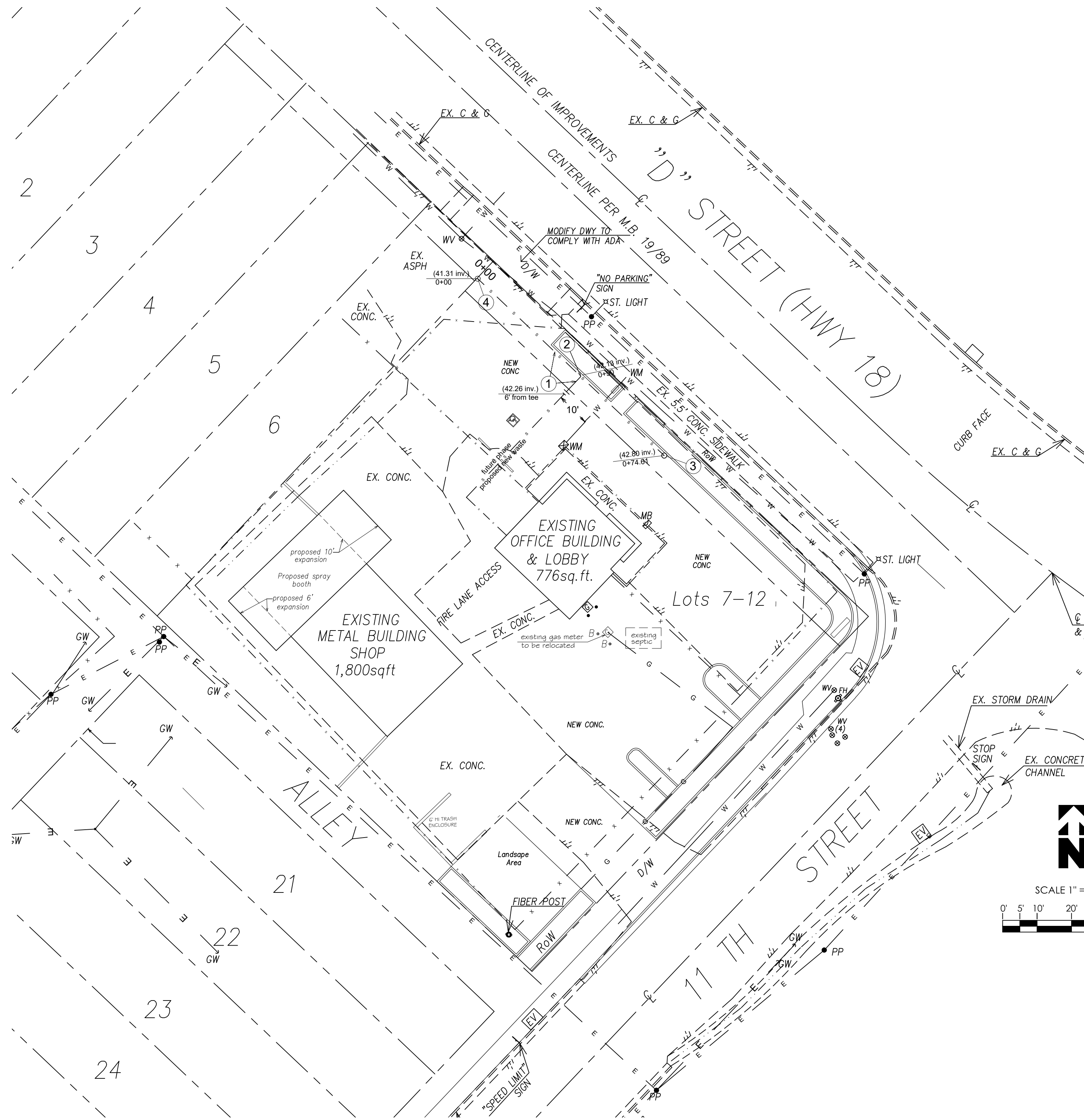
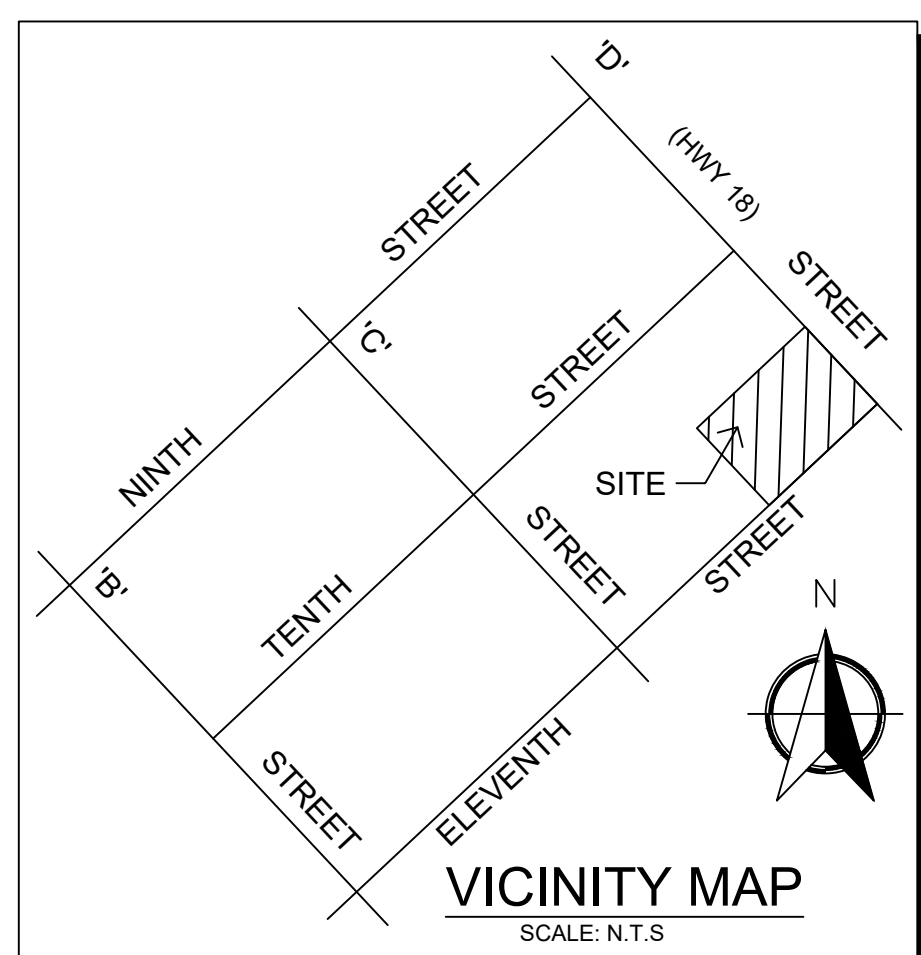
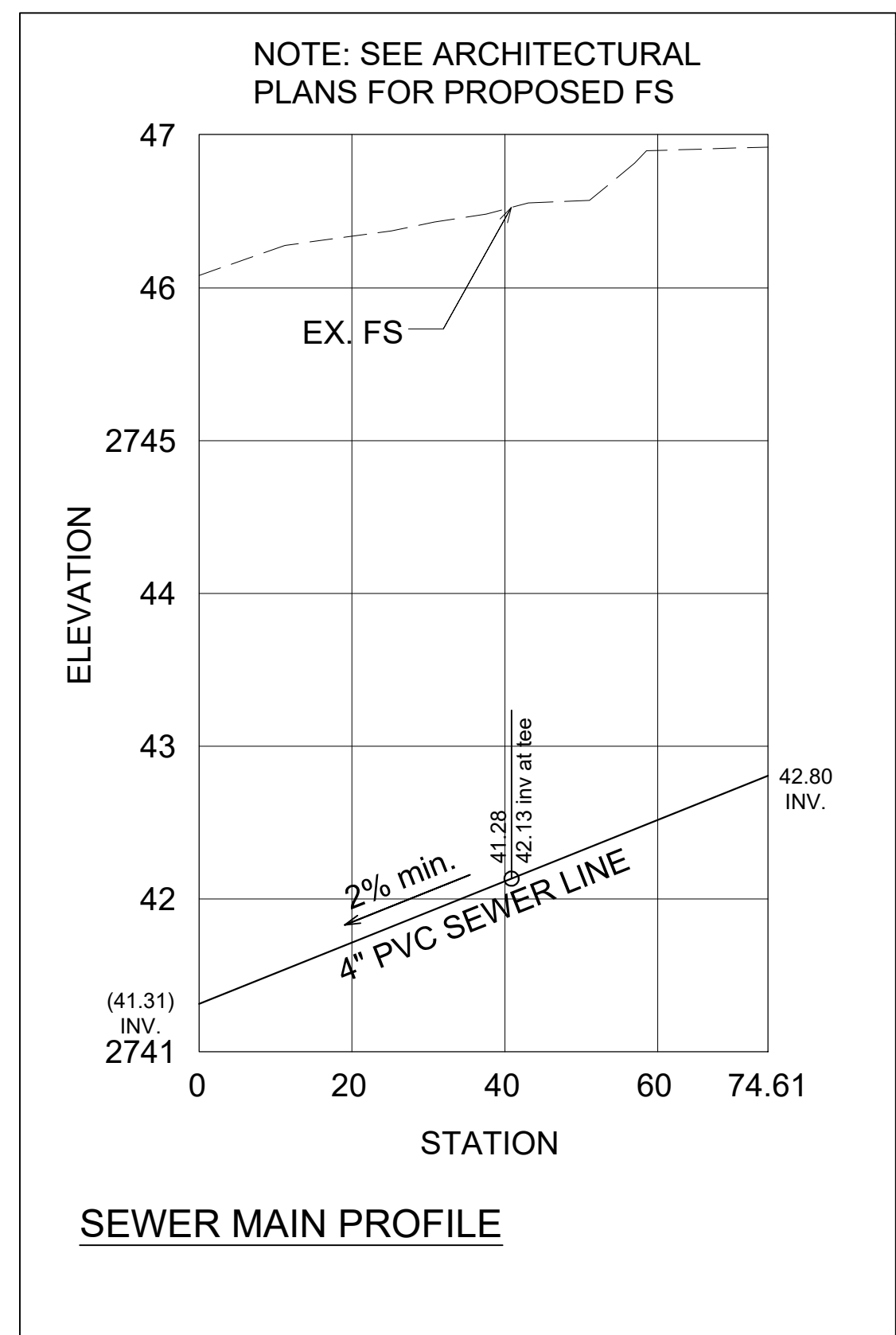
Designed By:	P. Ulloa
Drawn By:	P. Ulloa
Date:	06.18.2021
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# SEWER IMPROVEMENT PLAN

## CITY OF VICTORVILLE

### APN: 0478-201-14



- SEWER LINE CONSTRUCTION NOTES:**
- ① INSTALL 4" PVC SEWER LINES AT A RATE OF 2% MIN. PER STD. SS-05. 74.61 LF
  - ② INSTALL 4" PVC SEWER LATERAL 6' PAST MAIN SEWER LINE AND INSTALL 4" TEE PER STANDARD, 22-03 6 LF  
1 EA
  - ③ INSTALL CLEANOUT PER CITY STANDARDS. SS-04. 1 EA
  - ④ REMOVE EX. CLEAN-OUT AND INSTALL A NEW CLEAN-OUT PER CITY STANDARDS SS-04. 1 EA

**LEGEND**

**WATER**

- FIRE HYDRANT
- FIRE DEPT. CONNECTION
- IRRIGATION VALVE
- POST INDICATOR VALVE
- WATER VALVE
- WATER METER BOX
- WATER VAULT
- AIR VENT
- STORM DRAIN MANHOLE

**GAS / SEWER**

- GAS METER
- GAS VAULT
- GAS MANHOLE
- GAS PADDLE
- GAS VALVE
- SEWER MANHOLE
- CLEAN OUT

**LINE STYLES / ABBREVIATIONS**

- (E) EXISTING
- (N) NEW / PROPOSED
- FUTURE CONNECTION
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING GAS
- EXISTING POWER
- CENTER LINE OF ROD
- PROPERTY LINE
- FENCE LINE

**SPECIAL SEWER and WATER LINE CONSTRUCTION NOTES:**  
 CONTRACTOR SHALL AND IS RESPONSIBLE TO FIELD VERIFY THE LOCATIONS, DEPTHS AND ELEVATIONS OF EXISTING SEWER AND WATER LINE BY POT HOLING, HYDRO and ETC.

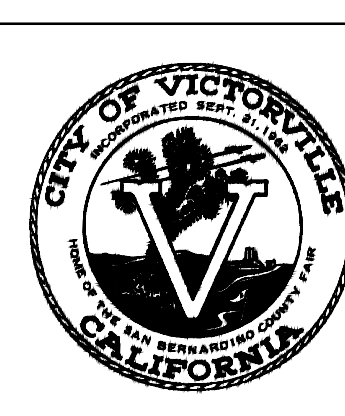
REV.	DISCRIPTION	DATE	BY

**BENCHMARK:**  
 BENCHMARK BEING THE CITY OF VICTORVILLE BM-43 A BRASS DISC LOCATED ON THE EAST SIDE OF HESPERIA RD. AT FORREST AVE.  
 ELEVATION = 2753.925'

DESIGNED BY:	P.U.	JOB #	C2044
DRAWN BY:	P.U.	DATE:	12.29.2020
CHECKED BY:	F.S.		
SUBMITTED BY:			
FRED SHEU	RCE No. C48562	DATE	

**FRED SHEU ENGINEERING**

14286 CALIFORNIA AVE., SUITE 103  
 VICTORVILLE, CA 92392  
 (760) 955-7522  
 EMAIL: fredsheuengineer@gmail.com



CITY CASE NO.

**CITY OF VICTORVILLE ENGINEERING DEPARTMENT**

14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By: \_\_\_\_\_ DATE \_\_\_\_\_

Brian W. Gengler, RCE C44730  
City Engineer

SEWER IMPROVEMENT PLAN  
 A.P.N. 0478-204-14

AHN LAM TRAN / PHUOIGH HUYEN  
 310.679.6811

SEWER IMPROVEMENT PLAN

JOB NO.:	C2044
SHEET	1
OF	1
UP-1	

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# ATTACHMENT B

**Carrillo Body Shop**

**17091 D Street Victorville, CA**

**Services Provided:**

- Restoration
- Custom Paint
- Body Work
- Collision Repair
- Alignment
- Muffler repair and installation
- Catalytic Converter repair and installation

**Hours of operation :** Monday-Friday 8:00 am - 5:00 pm and Saturday 8:00 am - 3:00 pm

**Number of Employees:** 3-5 maximum



# ATTACHMENT C

**Mojave Desert Air Quality Management District**

*Brad Poiriez, Executive Director*

14306 Park Avenue, Victorville, CA 92392-2310

760.245.1661 • Fax 760.245.2022

[www.MDAQMD.ca.gov](http://www.MDAQMD.ca.gov) • @MDAQMD



August 24, 2021

City of Victorville  
Planning Division  
14343 Civic Drive  
Victorville, CA 92392

**Project: ADMN 21-00105**

Dear Planning Division:

The Mojave Desert Air Quality Management District (District) has received a request for comments for ADMN 21-00105, a minor site plan and minor conditional use permit with an environmental exemption to allow for an automotive repair and body shop facility within an existing building on a property zoned for mixed use service within the old town specific plan located at 17091 d street.

We have reviewed the project as proposed and based on the information available to us at this time, the District recommends that fugitive dust best management practices (including but not limited to applicable provisions of District Rule 403) are implemented on all non-paved transport roads, access points, and parking areas. Additionally, obtain District permits for any miscellaneous process equipment that may not be exempt under District Rule 219 including, but not limited to:

- Surface coating and spray coating equipment.
- Internal Combustion Engines with a manufacture's maximum continuous rating greater than 50 brake horsepower.
- Equipment with a capacity of 793 gallons (3,000 liters) or more used exclusively for the storage and transfer of any oil that has been used for its intended purpose and is subsequently designated for disposal or recycling.

Thank you for the opportunity to review this planning document. If you have any questions regarding this letter, please contact me at (760) 245-1661, extension 6726, or Bertrand Gaschot at extension 4020.

Sincerely,

A handwritten signature in black ink, appearing to read 'Alan J. De Salvio', is written over a large, light-colored scribble.

**Alan J. De Salvio**  
Deputy Director – Mojave Desert Operations

## Charlene A. Johnson

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**From:** MATHEW, JACOB K@DOT <Jacob.MATHEW@dot.ca.gov>  
**Sent:** Thursday, September 16, 2021 10:40 AM  
**To:** Planning Division; Fredy Bonilla  
**Cc:** Clark, Rosa F@DOT  
**Subject:** ADMN21-00105 Request For Comments

[EXTERNAL EMAIL]: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi,  
Thank you for providing us the Site Plan for the Automotive Repair and Body Shop project, located at 17091 D Street, in the City of Victorville. This project proposes to allow for an automotive repair and body shop facility within an existing building on a property zoned mixed use service (APN# 0478-204-14).

As the owner and operator of the State Highway System (SHS), it is our responsibility to coordinate and consult with local jurisdictions when a proposed development may impact our facilities. As the responsible agency under the California Environmental Quality Act, it is also our responsibility to make recommendations to offset associated impacts with the proposed project. Although the project is under the jurisdiction of the City of Victorville, due to the project's potential impact to the State facilities, it is also subject to the policies and regulations that govern the SHS. We offer the following comments:

- 1) Complete a Traffic Impact Study that also includes traffic safety review and vehicle miles traveled (VMT) analysis to accurately evaluate the extent of potential impacts of the project to the operational characteristics of the existing State facilities by the project area.
- 2) Additionally, we recommend you to prepare and provide us the scoping agreement for review.

In the event of mitigation measure is determined to encroach into State Right-of-Way, either as proposed or later modified, issuance of a Caltrans Encroachment Permit will be required. For information regarding the Encroachment Permit application and submittal requirements, contact:

Caltrans Office of Encroachment Permits  
464 West 4<sup>th</sup> Street, 6<sup>th</sup> Floor  
San Bernardino, CA 92401-1400  
(909) 383-4526

<http://www.dot.ca.gov/hq/traffops/developserv/permits/>

These comments result from a review of the Site Plan provided for our evaluation. If this project is later modified in any way, please forward copies of revised plans as necessary so that we may evaluate all proposed changes for potential impacts to the SHS. If you have any questions regarding this email, please contact us.

Thanks,  
Jacob Mathew  
D-8, Planning

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**From:** Planning Division <[planning@victorvilleca.gov](mailto:planning@victorvilleca.gov)>

**Sent:** Monday, August 23, 2021 11:31 AM

**Cc:** Fredy Bonilla <[fbonilla@victorvilleca.gov](mailto:fbonilla@victorvilleca.gov)>; Tom Cervantes <[tcervantes@victorvilleca.gov](mailto:tcervantes@victorvilleca.gov)>; Joseph Slegers <[JSlegers@victorvilleca.gov](mailto:JSlegers@victorvilleca.gov)>; John Garcia <[JGarcia@victorvilleca.gov](mailto:JGarcia@victorvilleca.gov)>; [Barlington@burrtec.com](mailto:Barlington@burrtec.com); [dkintzer@burrtec.com](mailto:dkintzer@burrtec.com); [gkoontz@burrtec.com](mailto:gkoontz@burrtec.com); [daniel.m.randolph@ftr.com](mailto:daniel.m.randolph@ftr.com); [jason.d.mockler@ftr.com](mailto:jason.d.mockler@ftr.com); [jacqueline.harper@sce.com](mailto:jacqueline.harper@sce.com); [jennifer.cusack@sce.com](mailto:jennifer.cusack@sce.com); [thirdpartyenvreview@sce.com](mailto:thirdpartyenvreview@sce.com); [Juan.m.lopez@sce.com](mailto:Juan.m.lopez@sce.com); [tyler.a.hudson@sce.com](mailto:tyler.a.hudson@sce.com); [Antoine.Williams@sce.com](mailto:Antoine.Williams@sce.com); [kurt.edwards@swgas.com](mailto:kurt.edwards@swgas.com); [shelby.dill@swgas.com](mailto:shelby.dill@swgas.com); [scdengineering@swgas.com](mailto:scdengineering@swgas.com); [kcasteel@vwwra.com](mailto:kcasteel@vwwra.com); [dpoulsen@vwwra.com](mailto:dpoulsen@vwwra.com); [rtownsend@vwwra.com](mailto:rtownsend@vwwra.com); [llaari@vwwra.com](mailto:llaari@vwwra.com); Clark, Rosa F@DOT <[rosa.f.clark@dot.ca.gov](mailto:rosa.f.clark@dot.ca.gov)>; [adesalvio@mdaqmd.ca.gov](mailto:adesalvio@mdaqmd.ca.gov); [projectview@mdaqmd.ca.gov](mailto:projectview@mdaqmd.ca.gov)

**Subject:** ADMN21-00105 Request For Comments

**EXTERNAL EMAIL.** Links/attachments may not be safe.

**CASE NO.:** ADMN21-00105

**DESCRIPTION:** A MINOR SITE PLAN AND MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR AN AUTOMOTIVE REPAIR AND BODY SHOP FACILITY WITHIN AN EXISTING BUILDING ON A PROPERTY ZONED MIXED USE SERVICE WITHIN THE OLD TOWN SPECIFIC PLAN LOCATED AT 17091 D STREET

**APN:** 0478-204-14

## REQUEST FOR COMMENTS

Attached is a pdf with information regarding case ADMN21-00105.

We are requesting that you provide us with any information, including environmental concerns, as to the effect they will have on your agency. This information will assist staff in analyzing the project and providing the Planning Commission with proper information to serve as a basis for its decision. If you need additional information to be able to provide comments on the projects, please contact the Planning Division and arrangements will be made to make that information available to you.

Please **email** any comments on the above mentioned case(s) to [planning@victorvilleca.gov](mailto:planning@victorvilleca.gov) on your Agency's official letterhead.

Your response to this request should be returned to this department on or before **September 6, 2021**, to ensure your proposed conditions or comments are reviewed by staff.

Should you have any questions or need further clarification concerning the case(s), please do not hesitate to contact this department at (760) 955-5135. Your cooperation and timely response will be greatly appreciated.

**This is for your information. No reply is necessary unless you have comments, or existing right of way or easements across the property proposed for development.**

Thank you,

PLANNING DIVISION

# ATTACHMENT D

# CASE: ADMN21-00105





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SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

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In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

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