

REGULAR MEETING OF THE ZONING
ADMINISTRATOR OF THE CITY OF VICTORVILLE

DECEMBER 16, 2020
10:00AM

ZOOM INFORMATION

MEETING LINK: <https://vv.city/2JAWIt8>
MEETING ID: 918 0460 2601
PASSCODE : V V123
Call IN NUMBER: (669) 900 9128

Notice to the Public: This meeting is being held in accordance with the Brown Act that is currently in effect under the State Emergency Services Act, the Governor's Emergency Declaration related to COVID-19, and the Governor's Executive Order N-29-20 issued on March 17, 2020. To minimize the spread of COVID-19, City Conference Rooms are closed to the public. This meeting will be available via Zoom and can be accessed through the following link : <https://vv.city/2JAWIt8> or by phone (669) 900 9128. **Meeting ID: 918 0460 2601 and Passcode V V123**

To provide public comments during Zoom, click "Raise Hand" and you will be advised to speak and be unmuted. If you would like your comments to be read during the meeting, please email planning@victorvilleca.gov no later than December 15, at 3:00 p.m. Include the agenda item number in your subject line; if your comment doesn't pertain to an item, indicate "general public comment" in the subject line.

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATIONS TO PARTICIPATE IN A ZONING ADMINISTRATOR'S MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE DEVELOPMENT DEPARTMENT SECRETARY AT (760) 955-5135 NO LATER THAN SEVENTY-TWO HOURS PRIOR TO THE MEETING

CALL TO ORDER

PUBLIC HEARING

1. MINOR INTERIM USE PERMIT- ADMN20-00096- Urbanest Group, Inc.

ENVIRONMENTAL - CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT - A MINOR INTERIM USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE ESTABLISHMENT OF A PARCEL DELIVERY SERVICE WITHIN AN EXISTING COMMERCIAL BUILDING AND A MINOR SITE PLAN TO ALLOW FOR ASSOCIATED SITE IMPROVEMENTS TO TAKE PLACE ON A C-2 ZONED PROPERTY

LOCATION- 15272 BEAR VALLEY ROAD

- ATTACHMENT-
- A. SITEPLAN
 - B. PROJECT DESCRIPTION
 - C. TRAFFIC ANALYSIS
 - D. AGENCY COMMENTS
 - E. AERIAL IMAGE

*Revised condition as of 12/16/2020 at 9:30am

PUBLIC COMMENTS

ADJOURNMENT

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ZONING ADMINISTRATOR STAFF REPORT

DATE: DECEMBER 16, 2020

AGENDA NO. 1

CASE: ADMN20-00096

SUBJECT: A MINOR INTERIM USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE ESTABLISHMENT OF A PARCEL DELIVERY SERVICE WITHIN AN EXISTING COMMERCIAL BUILDING AND A MINOR SITE PLAN TO ALLOW FOR ASSOCIATED SITE IMPROVEMENTS TO TAKE PLACE ON A C-2 ZONED PROPERTY

APPLICANT: URBANEST GROUP, INC.

LOCATION: 15272 BEAR VALLEY ROAD

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA as follows:
 - a) Minor Site Plan – Exempt pursuant to Section 15301(a)(c) & (d) titled “Existing Facilities”, Section 15303(d) & (e) titled “New Construction and Conversion of Small Structures”, and Section 15311 titled “Accessory Structures”;
 - b) Minor Interim Use Permit – Exempt pursuant to Section 15301(a)(c) & (d) titled “Existing Facilities”; and
2. **Minor Site Plan** – Approve the Minor Site Plan portion of case ADMN20-00096, subject to the recommended conditions by finding that the proposal is in accordance with Section 16-3.01.030 of the Development Code and meets the applicable requirements of Title 16; and
3. **Minor Interim Use Permit** – Approve the Minor Interim Use Permit portion of case ADMN20-00096 subject to the recommended conditions by finding that the proposal meets the requirements of the City Council Policy for Interim Uses (CP-11-05), including basis of need and required findings as outlined within the Staff Analysis section of the Zoning Administrator Staff Report.

II. SUMMARY:

The applicant is requesting approval of this Minor Site Plan and Minor Interim Use Permit in order to allow for the establishment of a parcel delivery service and accessory office/customer service area within an existing approximately 126,000 sq. ft. vacant commercial building in a C-2 (General Commercial) Zone District. The proposal on the approximately 21.5 acre building site includes the reuse of the existing building and parking field on the southern 12.5 acres of the site as well the rehabilitation of the northern 9 acres of the site that includes the conversion of a drive-in movie theater parking field to a screened parking field for delivery vehicles. Included in the proposal are associated architectural changes to the building elevations such as a small storefront and new staging canopy, as well as site updates to the overall site including new landscaping, walls/fencing, refuse collections areas, revised on-site circulation, and street improvements. These associated

improvements will bring the site into conformance with current Municipal Code standards, improve the quality of the site, and reduce any potential negative impacts to the surrounding commercial development as well as the residences to the east.

III. **STAFF ANALYSIS:**

1. **Environmental Assessment.**

The California Environmental Quality Act (CEQA) provides a list of projects which have been determined not to have a significant effect on the environment and are exempt from the provisions of CEQA. These "Categorical Exemptions" are applicable to certain projects and exempt a land use proposal from CEQA provided they are found not to have a significant effect on the environment. Therefore, based upon the various Categorical Exemptions provided by CEQA, Staff finds that the following are applicable to the subject proposal:

Existing Facilities (*Applicable to Minor Site Plan & Minor Interim Use Permit*)

- Section 15301(a)(c) & (d) of CEQA allows for projects at existing facilities whose permitting, licensing, and minor alterations involve negligible or no expansion of the sites existing use, including alterations such as: interior/exterior alterations to interior partitions, plumbing, and electrical conveyances; alterations to existing roadways; and restoration or rehabilitation to deteriorated structures and facilities. Due to the fact that the entire site was previously developed with areas falling into disrepair to due vacancy and deterioration, and because the activities and improvements proposed on-site will update and restore the site and surrounding roadways in a manner consistent with current design standards that do not increase the traffic, noise, or other adverse impacts to the vicinity previously generated by the projects historical use as a 24-hour retail site and drive-in movie theater; Staff finds this exemption from CEQA applicable.

New Construction or Conversion of Small Structures (*Applicable to Minor Site Plan*)

- Section 15303(d) & (e) of CEQA allows for the construction and location of small facilities and structures, including the conversion from one use to another where only minor modifications are made in the exterior of the structure. Inasmuch as the proposed construction activities on-site include the improvement of an existing roadway (Balsam Road) as well as accessory structures like parking lot improvements, landscaping, fences/walls, refuse collection areas, covered parking/staging canopy, and interior/exterior adjustments to an existing structure, Staff finds this CEQA exemption applicable.

Accessory Structures (*Applicable to Minor Site Plan*)

- Section 15311(b) of CEQA allows for the construction of minor structures accessory to (appurtenant to) existing commercial facilities. Therefore, Staff finds that the conversion of the existing drive-in movie theater parking area to a parking lot as well as site improvements such as landscaping, refuse collection areas, and fences/walls are considered appurtenant to the existing commercial building and are therefore exempt from CEQA.

2. **Minor Site Plan.**

General Information

- The existing approximately 21.5 acre site was previously developed and has been utilized for two separate businesses, a Walmart operated 24-hours a day and was located on the

southern 12.5 acres of the project site and a drive-in movie theater was located on the northern 9 acres of the project site. Although the entire site is improved, the northern half lacks landscaping and street improvements while the southern half of the site includes full site improvements that have deteriorated (e.g. dead/dying landscaping and weathered parking field) due to vacancy of the subject site.

- In order to address existing site conditions, modify the site design to accommodate the proposed parcel delivery operation, as well as update and improve the location in a manner consistent with Victorville Municipal Code (V.M.C.) requirements, the applicant has proposed the following:

Building Changes

- Updates to the interior and exterior of the existing commercial building to accommodate delivery, sorting, and administrative functions of the proposed business. Exterior changes include the addition of roll-up bay doors on the north and west elevations (located to limit visibility from the right-of-way), a new canopy at the north elevation to accommodate vehicle loading and staging, as well as a new entrance façade for the proposed tenant that will be utilized for employee entrance/exit and as a customer service area for pick-up and return of items by patrons. Staff finds that the elevation changes are: appropriate given the proposed change in use; in accordance with the Commercial Design Guidelines given the bay doors orientation away from neighboring properties; and an improvement of the existing design given the limitation of working within the shell of the existing structure. Staff has included Conditions 2, 5 & 20-22 in order to ensure the architectural design remains in accordance with the Commercial Design Guidelines and the V.M.C., which will address items such as the interior location of scupper/roof drains, screened utility and rooftop equipment, and verification of the final colors and materials to be used.

Parking Field

- Parking fields throughout the site will include a redesigned circulation pattern in order to accommodate customer and employee parking as well as delivery vehicle parking/staging areas that are restricted to delivery vehicle access only. In order to ensure the entire parking is updated in accordance with V.M.C. standards and deteriorated parking areas are improved, Staff has included Condition 10, requiring the slurry coat and seal, as well as restriping of all areas of the project site.

Landscaping

- New and replaced landscaping is included along right-of-way frontages including Balsam Road and the future Huerta Road. Perimeter landscaping is designed as dual use and will function as bioretention basin with landscaping consisting of 24" – 36" box trees as well as other drought tolerant landscaping and ground cover. In order to ensure all existing and proposed landscaping is maintained, Staff has included Condition 18 requiring the permanent maintenance of all landscaped areas on-site.
- The parking field at the south half of the site where areas for customer, employee and some delivery van parking are provided will be improved to include interior landscaping and planters throughout. Areas designated as restricted access for delivery vehicles will be screened from public view (as discussed separately in this analysis) and include limited landscape improvements as they are not required parking. Staff has included Conditions 15 & 16 in order to ensure all required landscaping installed at the perimeter

of the site and within parking areas complies with the applicable requirements of the V.M.C., including planter size, plant spacing, and irrigation.

Refuse Collection

- The final design of the refuse collection area is not noted on the Site Plan; however, the applicant has noted to Staff that inclusion of such facilities will be added to the final site design. Therefore, Staff has included Condition 19 requiring the addition of refuse collection facilities, subject to review and approval by City Staff and the City's contracted refuse collection agency (Burrtec).

Street Improvements

- Balsam Road will be improved to include curb, gutter, and sidewalk where not installed, and ADA compliant pedestrian routes will be added to all driveways included within the projects scope of work. The applicant/developer will also be required to provide an in-lieu fee for the future completion of the site's Huerta Road frontage, which is acceptable given the undetermined need for said right-of-way that is dependent upon future development patterns in the vicinity. Engineering Conditions 37 & 38 have been included in order to ensure street improvements are required as discussed.

Parking & Circulation

- Parking standards for a distribution warehouse such as this proposal require 19 employee/patron spaces for the first 16,000 sq. ft. of warehouse space plus 1 space for each 2,000 sq. ft. of warehouse area in excess of 16,000 sq. ft. Therefore, based upon the approx. 126,000 sq. ft. of warehouse area, 74 off-street parking spaces are required on the subject site (110,000 sq. ft. / 2,000 sq. ft. = 55 spaces + 19 spaces [First 16,000 sq. ft.] = 74 total spaces). As proposed, the site provides parking in accordance with Title 16 standards as over 140 employee patron spaces are proposed and 75 are required, resulting in a surplus of approximately 65 spaces. Additionally, Staff has included Condition 11 requiring all employee/patron parking to meet minimum size (9'x20' parking spaces) and access (26' wide drive aisle) requirements of the V.M.C.
- The project site shares access and drive aisles along the southern property lines that will be adjusted in conjunction with the proposed redevelopment. Therefore, to ensure all parking areas on-site and off-site retain access in accordance with V.M.C. standards, Staff has included Condition 13 requiring such.
- Reciprocal access is required where abutting parcels are used for shared site access and parking. Therefore, Condition 14 has been added to confirm any existing CC&Rs are not compromised in conjunction with the subject project.

Delivery Vehicle Screening

- Although over 140 off-street parking spaces are provided for employees and patrons that are landscaped and designed in accordance with the V.M.C., there are approximately 650 delivery vehicle spaces and staging areas that are not landscaped per V.M.C. standards. Inasmuch as the subject delivery spaces are not required parking and because the subject parking areas are not accessible by the general public, Staff finds that these parking areas can be considered exempt from typical parking standards (e.g. size, access, and landscaping) if screened from public view. Therefore, Condition 17 has been added in order to require screening in the form of landscaping and walls or fencing in conjunction with the issuance of a building permit.

Miscellaneous

- Overhead utility lines dissect the center of the site running east to west; however, their relocation to underground is not anticipated to be required pursuant to Section 16-5.12.170 of Development Code since utility lines designed for over 34.5 kV nominal are exempt from the underground requirement. Therefore, Condition 24 has been included to confirm the voltage of the utility lines accordingly.
- Comments from the City's refuse collection contractor (Burrtec) and the regional air quality management district (Mojave Desert Air Quality Management District) have been received (Attachment D), which have been addressed via Conditions 19 & 28-32 to ensure compliance with the regulatory agencies standards.
- Signage is included in the Site Plan; however, the project includes freestanding signage in excess of the allowances provided by Section 16-3.22.130 of the V.M.C. Therefore, Condition 25 & 26 has been added in order to ensure any signage in excess of V.M.C. allowances is reviewed and approved by the Planning Commission accordingly.
- A lot merger is typically required where a single land use is proposed to encompass multiple parcels. Therefore, Condition 27 has been added in order to merger the subject parcels unless otherwise deemed unnecessary by the Zoning Administrator.

Scope of Review

- In accordance with Section 16-3.01.030 of the Development Code, Staff finds that the proposed Minor Site Plan meets the requirements of Title 16 as follows:
 - The location of the site as conditioned with screened delivery vehicle parking areas, roll-up bay doors oriented away from neighboring rights-of-way and residences, and enhanced landscaping will conform to the physical constraint of the existing site by reducing views of on-site operations while improving and revitalizing existing site improvements; and
 - Adverse impacts to surrounding properties will be minimized due to the proposals site improvements including enhanced landscaping, screening of delivery vehicle storage areas, and building updates that are designed accommodate site operations without introducing adverse impacts or view to neighboring properties, which will improve the overall aesthetics of the site; and
 - Surrounding uses will be minimally disrupted due to the proposals scope and improvements which will screen most of the proposed operations from public view and improve the public right-of-way; and
 - As proposed, the Minor Site Plan substantially fulfills the applicable requirements of the Commercial Design Guidelines and the Development Code due to enhanced landscaping, screening, updated building design, and street improvements with compliant site access.

3. Minor Interim Use Permit.

Use History

- The subject site has previously been used by a retail establishment as well as a drive-in movie theater with no businesses operating at either location for over eight years (20+ years of vacancy at the drive-in site). City Staff has reviewed few site reuse proposals at the subject site within the last eight years and no proposal has included the reuse of the entire retail building as included in the subject project.

Business Operations

- The proposed Interim Use Permit seeks to utilize the existing site (including reuse of the existing building to accommodate a parcel delivery service as a single tenant.
- Hours of operation for the proposed business include operations 24 hours a day seven days a week, with actual delivery from the site occurring between the hours of 9AM-9PM. Eighteen line haul trucks (e.g. tractor trailer trucks) are anticipated to visit the site daily, after which packages are unloaded and prepared for final “last mile” delivery in the local and surrounding communities. Additionally, 150 employees are scheduled to Staff the facility daily split between a 1:30AM-12:30PM shift (approximately 105 employees) and a 1PM-10PM shift (approximately 45 employees).
- Delivery from the site to customers will take place in a variety of methods such as delivery service partners (private businesses in tenant branded vehicles stored on-site) and independent contractors (in private vehicles), with delivery service partners vehicle loading beginning at 8:30AM and waves of approximately 50 vehicles departing the facility every 30 minutes between 9AM-11AM. After delivery vehicle dispatch, delivery service partner vehicles will return to the site between 7PM-9PM where vehicles are parked on-site. Independent contractors will visit the site in the afternoons from 4PM-5PM with staggered departure every 20 minutes during this time and private vehicles used and stored off-site.
- Accessory uses within the existing building include office area, staff support areas (e.g. restrooms, break rooms, etc.), as well as a “Hub” customer service area where customers can pick-up or return items in lieu of delivery. The total accessory use area comprises approximately 10,250 sq. ft. of the 126,000 sq. ft. building with the customer service area utilizing approximately 750 sq. ft. of said accessory area. The subject customer service area is noted to operate between 10AM-9PM and includes sufficient on-site parking in accordance with Title 16 standards given the 65 space surplus noted in the Site Plan discussion.
- In order to ensure all sorting operations are conducted indoors as required by the Development Code, Staff has included Condition 3 requiring such. Additionally, delivery vehicle parking areas are proposed at the north end and south end of the site with limited interior landscaping improvements. Staff finds that this design should not negatively affect the public health, safety or welfare due to this area being restricted access and screened by landscaping as well as a wall or fence along the right-of-way in order to reduce adverse impacts to neighboring properties. Provided loading/unloading of vehicles is not performed in this area as required by Condition 3, Staff finds the proposed design acceptable.

4. City Council Policy Findings

- The General Commercial Zone District (C-2) does not permit the proposed parcel delivery service as a permitted or conditional use. However, an interim use within the C-2 District is permitted if the proposed use meets the requirements of the City Council Policy for Interim Uses (CP-11-05). Staff finds that the parcel delivery service at this location does meet the requirements of the Council Policy as discussed in the following section.
- Basis of Need:

The proposal is located within an existing building that has had difficulty in obtaining a suitable tenant given the facility's size and location setback from Bear Valley Road with numerous vacancies also present within the adjoining shopping center. Economic decline and shifting land use patterns away from big box retailers to e-commerce have caused the subject site to remain vacant for over eight years after the previous tenant relocated to a new facility along Interstate 15 with improved visibility. Therefore, based upon the circumstances noted above, Staff finds the site meets the basis of need requirement.
- Required Findings:
 - i) The proposed use is 'similar' to other permitted uses within the zone in regards to:
 - Hours of Operation – Typical daytime and evening business hours for customer service operations that are not uncommon for commercial uses in the area, with delivery and support operations throughout the day located indoors and screened from public view, in a manner similar to retailers receiving stock shipments in the evening/morning hours.
 - Parking Needs/Requirements – Adequate parking on-site in accordance with Title 16 standards.
 - Traffic Impacts – Access from abutting Balsam Road should be adequate to serve proposal with street improvements included and staggered vehicle departures proposed. Additionally, a traffic study found the impacts from this proposal to be less than those of the previously existing retailer.
 - Occupancy Patterns – The utilization of previous “big box” retail location will introduce a similar traffic flow and employee/customer base to the location as previously supported by the location.
 - Noise – Noise impacts should be minimal as the project will mitigate any noise created by the use through landscape and wall/fence screening, and all work is conditioned to be performed indoors or adjacent to the building.
 - Environmental Impacts – The use should not produce any negative environmental impacts as conditioned and with the issuance of required building permits.
 - Required Licensing/Permits – Any required permits can be obtained during the Business License phase of the entitlement as well as during plan check with the Building Division.
 - Required Facilities – The site contains restroom facilities that should be adequate to serve the proposed use and handicapped access and parking appears adequate as proposed.

- ii) The proposed use is a 'good fit' in regards to:
- Existing Structures – The proposal is located within an existing building that will be modified to accommodate the proposed use and the size of the existing single-tenant site will allow all sorting functions to be performed indoors.
 - Existing Site Development/Conditions – The site will be improved per the associated Minor Site Plan entitlement to add landscaping, screening, revised parking lot design, and updated the refuse collection in accordance with the Development Code.
 - Compatibility with Adjacent Existing & Permitted Uses – The proposal is bound on three sides by commercial property and on remaining side by a Circulation Element designated Arterial right-of-way that separates the proposal from single-family residences. Due to the surrounding commercial development, landscaping and screening proposed, as well as the existing right-of-way frontage, the proposal should be compatible with the surrounding uses and mitigate potential impacts accordingly.
- iii) The proposed use presents no negative impacts to any of the following:
- Public Interest – The use will not have a negative impact on public interest as the site has been vacant for over eight years with vandalism and loitering prevalent at the subject site. Redevelopment of the site to accommodate a parcel delivery service will introduce activity in the area as well as support surrounding businesses in a manner that will benefit the aesthetics and economic vitality of the community.
 - Public Health, Safety, and Welfare – No negative impacts as conditioned and with required building permits, which will ensure approval by the local air quality management district.
 - Economic Vitality of the Area – The use will fill a vacancy in an area and will improve the existing conditions on-site.
 - Neighboring Businesses and Residents – No negative impacts are expected to local businesses due to the additional customers and employees that will likely patronize local business. Additionally, potential impacts to residents in the vicinity will be mitigated by enhanced landscaping, screening, indoor operations and staggered vehicle arrival/departure times.
 - Overall Integrity of the Center, District or Area – The use will not negatively affect the integrity of the area due to numerous vacancies in the underlying shopping center and a new customer base that will be created for businesses in the vicinity.
 - Does not Contribute to Over-Concentration – N/A

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Vacant Commercial Building	Commercial	C-2	N/A
North	Vacant Drive-In Theater Parking Field	Commercial	C-2	N/A
South	Multi-tenant Commercial	Commercial	C-2	N/A
East	Single-Family Residences	Very Low Density Residential	R-1TB $\frac{1}{2}$	N/A
West	Multi-tenant Commercial / Vacant / Self-Storage	Commercial	C-2 / C-M	N/A

NUMBER OF RADIUS LETTERS MAILED: 34

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Attachments:

- Attachment A – Site Plan
- Attachment B – Project Description
- Attachment C – Traffic Analysis
- Attachment D – Agency Comments
- Attachment E – Aerial Image

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL - MINOR SITE PLAN
ADMN20-00096
December 16, 2020

A MINOR SITE PLAN WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR SITE IMPROVEMENTS ASSOCIATED WITH A PARCEL DELIVERY SERVICE WITHIN AN EXISTING COMMERCIAL BUILDING ON A C-2 ZONED PROPERTY LOCATED AT 15272 BEAR VALLEY ROAD

Planning Conditions:

1. This approval is to allow for site improvements to a vacant single-tenant commercial building and adjacent vacant parking fields on property located at 15272 Bear Valley Road as well as the property north of and abutting the subject location. Approved site improvements include building elevation changes (including storefront changes, additional roll-up doors and building access, as well as paint/material updates), a redesigned floor plan, addition of a covered loading/staging canopy, on-site circulation redesign, parking area redesign and repair, the addition of walls and/or wrought iron fencing with masonry pillars, new and updated landscaping, and required street improvements.
2. The proposed development shall comply with all applicable development standards of Title 16 and shall be in general compliance with the Commercial Design Guidelines.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16 and/or conditions of approval.
4. The development shall be in substantial conformity with the architectural elevations and renderings submitted with this application, unless modification is required by condition.
5. The applicant shall provide a materials and color sample board prior to the issuance of a building permit.
6. Any change in use, including such changes as the expansion of on-site guest services (e.g. package pickup and return services) or implementation of a new use within the facility, which will require additional employee and/or guest parking spaces shall be reviewed and approved by the Zoning Administrator prior to implementation. Any change resulting in noncompliance with the parking standards of Title 16, shall cause that use to be subject to Planning Commission review and approval.
7. Should a parking shortage occur on-site (e.g. employees, customers, or delivery vehicles parking off-site due to unavailability of parking on-site), as witnessed by City Staff via complaint or in person site visits and verified by the Zoning Administrator, the applicant shall immediately provide delivery vehicle parking spaces for use by employees and patrons of the site, subject to review and approval by the Zoning Administrator via revised site plan. Based upon the severity of any future parking shortage on-site, the Zoning Administrator may require a Site Plan Modification and/or a new Interim Use Permit.
8. The number and location of all handicapped parking spaces shall be subject to Development Department review and approval.
9. In the event the applicant/developer proposes to gate any of the vehicular driveway entrances shown on the site plan, approval of a subsequent Minor Site Plan application shall first be obtained unless

otherwise approved by the Zoning Administrator via building permit prior to the issuance of the original Certificate of Occupancy.

10. All existing parking areas that will not be repaved (including employee, customer, and delivery vehicle areas) shall be patched and repaired with a finish slurry seal coat and parking stall restriping unless deemed unnecessary by the Zoning Administrator.
11. All required employee and customer parking spaces and drive aisles shall be designed in compliance with Section 16-3.21.050 of the V.M.C., including 9'x20' parking spaces dimensions and 26' wide drive aisles.
12. Service fleet vehicles shall not park within required employee and customer parking spaces. Signage to prevent unauthorized vehicular access and parking shall be indicated on the site plan.
13. The off-site parking area that is currently within the property boundary shall be redesigned or adjusted to avoid dead end drive aisles and include planters at the end of parking rows to match existing conditions. These improvements shall be included in the Site Plan for review and approval prior to the issuance of a building permit, including parking space and drive aisle design in accordance with Section 16-3.21.050 of the V.M.C.
14. Prior to the issuance of a building permit updated reciprocal access shall be required or proof of existing reciprocal access between the subject site and the remainder of the shopping center (e.g. CC&R's, recorded agreements, etc.) that allows the proposed changes shall be submitted for review.
15. A six-inch wide planter curbing, in accordance with Engineering Standard S-09, is required along the perimeter of all landscaped areas, including planters that abut the public right-of-way sidewalk. All planter strips abutting a public right-of-way and planter islands/landscape fingers shall be a minimum interior width of five feet, exclusive of curbing. The grading and site plans shall clearly show all required curbing.
16. The applicant/developer shall provide landscaping/irrigation plans in accordance with Chapter 13.60 of the Victorville Municipal Code, entitled Water Conservation. Landscape areas shall not exceed a slope of 3:1 and shall also meet Title 16 standards, including the minimum interior percentage of landscaping and the maximum dispersal of landscaping within a parking lot, excluding the screened service parking field to the north of the building. The landscaping plan shall include a minimum of one 24-inch box tree for every eight parking spaces provided on-site located within minimum 5-foot interior width planters. In addition, the landscaping plan shall include the maximum spacing of all plants as follows:
 - A. Ground cover – eighteen inches on center
 - B. One gallon plants – three feet on center
 - C. Five gallon plants – five feet on center

In addition, a note shall be conspicuously placed on the landscape plan indicating the following: Any discrepancy between the maximum spacing criteria and the number of plants shown on the landscape plan shall result in the spacing criteria superseding any other information shown on the landscape plan.

17. Required screening of parking areas shall be provided and noted on the Site Plan prior to the issuance of a building permit as follows:
- i. Huerta Road – A minimum 10' landscape planter (which may be designed to accommodate stormwater drainage) with 24"-36" box trees and other landscaping as well as a wrought iron fence with decorative masonry pillars at least 6' in height located at the 10' setback.
 - ii. Balsam Road (North of Building Edge) – A minimum 10' landscape planter (which may be designed to accommodate stormwater drainage) with 24"-36" box trees and other landscaping as well as a decorative masonry wall with pilasters or a decorative view obstructing panel wall/fence with decorative masonry pillars at least 6' in height located at the 10' setback, subject to the review and approval of the Zoning Administrator. Alternative means of screening the public views of this parking area shall be established within the SCE easement, should SCE provide written correspondence that the above-mentioned screening method and improvements are not acceptable, subject to the review and approval of the Zoning Administrator.
 - iii. Balsam Road (Approx. East of and Adjacent to Building) – Provide 10' landscape planter (which may be designed to accommodate stormwater drainage) with 24"-36" box trees and other landscaping.
 - iv. West Property Line - Wrought iron fence at least 6' in height.
 - v. South Property Lines (Abutting Shopping Center) - 5' interior width landscape planter (which may be designed to accommodate stormwater drainage) with 24"-36" box trees and other landscaping sufficient to screen parking areas not improved in accordance with Title 16.

The final design of the landscaping, screening, walls and/or fences shall be subject to final review and approval by the Zoning Administrator in accordance with Title 16 standards prior to the issuance of a building permit.

18. All existing and proposed landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system. (This condition shall require the replanting of the existing planter along the west property line that is not currently shown on the submitted site plan)
19. The applicant shall install a trash enclosure in conformance with Section 16-3.24.110 of the Victorville Municipal Code. The enclosure shall have solid block walls with non-transparent metal gates, a solid roof/cover that is architecturally compatible with the primary building(s) onsite and serves to protect the refuse area from inclement weather, as well as wrought iron that fully encloses the trash enclosure between the block wall/metal gates and the roof to prevent unauthorized entry. Additionally, all trash enclosures shall include "walk-in" rear or side access for pedestrian use. The location, design and quantity of said enclosures shall be subject to Burrtec and Zoning Administrator review and approval.
20. Any new rooftop and/or ground mounted equipment visible from public rights-of-way shall be screened from view and architecturally integrated into the building.
21. Any new wall mounted utility equipment (i.e. meters, panels, boxes, conduit etc.) shall not be visually exposed on the building. This type of equipment shall be internally located, screened with landscaping or covered in a manner that is architecturally integrated into the design of the building, subject to the review and approval of the Zoning Administrator.

22. Any new roof drains (i.e. scuppers and down spouts) shall not be visually exposed on the building(s). Roof drains shall be internally located, subject to the review and approval of the Zoning Administrator.
23. A photometric study and site lighting plan shall be included within the architectural and/or civil improvement permit sets.
24. Prior to the issuance of a building permit, the applicant/developer shall provide verification that the electrical transmission lines traversing the center of the site from east to west are designed for over 34.5 kV nominal. Should these transmission lines be designed for less than 34.5 kV nominal, the applicant shall be required to relocate said transmission line underground unless otherwise waived by the City Engineer or suspended by the Planning Commission with proper application and fee's submitted by the applicant/developer.
25. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. Any new freestanding signs on-site may trigger the requirement of a Master Sign Program for the entire Shopping Center, as required by Sec. 16-3.22.170. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
26. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
27. A lot merger may be required including application, approval, and recordation prior to issuance of the Certificate of Occupancy for the subject site. The Zoning Administrator may waive this requirement based upon justification from the applicant/developer noting conditions that inhibit the merger of the subject parcels (e.g. conflicts with CC&R's, interference with existing agreements or easements, etc.).
28. A dust control plan will be required for the parking lot portion of the project, subject to review and approval by the Mojave Desert Air Quality Management District prior to the issuance of a building or grading permit.
29. Signage complaint with Rule 403 Attachment B shall be erected at each project site entrance no later than commencement of construction, subject to review and approval by the Mojave Desert Air Quality Management District prior to the issuance of a building or grading permit.
30. The applicant/developer shall use a water truck to maintain moist disturbed surfaces and actively spread water during visible dusting episodes to minimize fugitive dust emissions. If the project includes exposed sand or fines deposits (including exposing such soils through earthmoving), chemical stabilization or covering with a stabilizing layer of gravel will be required to eliminate visible dust/sand from sand/fines deposits.
31. Prior to the issuance of a demolition permit an asbestos survey and notification will be required if deemed necessary by the Mojave Desert Air Quality Management District.
32. Prior to the issuance of a building permit the applicant shall evaluate the project impacts via the CalEEMod methods (or the equivalent) to determine the impacts to sensitive receptors outlined in

the Mojave Desert Air Quality Management District (MDAQMD) and CEQA guidelines. If the project is deemed to result in a cancer risk greater than or equal to 10 in a million and/or Hazard Index (HI)(non-cancerous) greater than or equal to 1, the applicant/developer/tenant will be required to incorporate mitigation measures sufficient to reduce project impacts to a level that is not significant, subject to review and approval by MDAQMD prior to the issuance of a building permit.

33. Prior to the release of any utilities for the use, all Title 16 improvements for the project shall be installed or a bond posted in the amount of one hundred fifty percent (150%) of the value of the uncompleted work shall be submitted to the Zoning Administrator, unless otherwise deemed unnecessary by the Zoning Administrator. Any modifications to the amount of the bond shall be subject to review and approval by the Zoning Administrator only if found by the Zoning Administrator that there are circumstances unique to the use that is not applicable to other uses.
34. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
35. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.
36. The project shall comply with all Federal, State and local laws and policies, including: the California Government Code (including the Planning, Zoning and Development Laws), Environmental Quality Act (CEQA), Subdivision Map Act, International Building Code, Green Code, Fire Code; and, Victorville General Plan and Municipal Code; unless permitted to deviate through provisions of such, or through adopted mitigation measures, conditions of approval, or the plans themselves.

Engineering Conditions:

37. The developer shall dedicate an easement for public right-of-way to the City of Victorville for the following in accordance with the Circulation Element of the General Plan:
 - i. 42 feet from the centerline of improvements for Balsam Road for APN No. 3093-271-07.
38. The developer shall install all improvements required by Section 9.32.040 of the Victorville Municipal Code (including curbs, gutters, sidewalks, pavement widening, drive approaches, street lighting, and drainage facilities) along the street frontages of the project (Balsam Road and Huerta Street), in accordance with the Standard Specifications for Public Improvements of the City of Victorville. The required street improvements include:
 - i. The commercial driveways on Balsam Road shall be removed & replaced per City Standard No. S-03.
 - ii. The existing public fire hydrants on Balsam Road shall be relocated to match City Standard No. S-12.
 - iii. Balsam Road frontage improvements for APN No. 3093-271-07. These improvements include but are not limited to pavement widening, curb & gutter, commercial sidewalk, driveway approaches, street lighting and drainage structures to City standards.
 - iv. Huerta Road frontage improvements for APN No. 3093-271-07. These improvements include but are not limited to grading, base, pavement, curb & gutter, AC Berm, commercial sidewalk, driveway approaches, street lighting and drainage structures to City standards. The City will consider an in-lieu fee for the Huerta Street Improvements based on the approved Engineer's Cost Estimate.

- v. Balsam Road shall be re-stripped from Bear Valley Road to Huerta Street to provide for a striped median, i.e. a double left turn pocket. The developer shall prepare street improvement and striping plans for Balsam Road for City review and approval that provide for the removal of the existing striping, installation of a crack seal and slurry seal, and new thermoplastic striping.
39. In accordance with State Water Quality Resources Board requirements, the developer shall implement measures for site design, source control, run-off reduction, storm water treatment and baseline hydro modification as defined by the Phase II Small MS4 Permit. This includes measures installed such that post-development peak storm water runoff discharge rates do not exceed the estimated pre-development rate, and on-site post-construction BMPs for treatment of storm water run-off.
 40. The developer shall prepare a water quality management plan for the on-site post-construction BMPs for treatment of storm water run-off. The project property owner shall enter into a maintenance agreement with the City for the water quality management plan.
 41. A grading plan/site improvement plan shall be submitted to the Development Department for review and approval. The grading plan shall address all on-site and off-site drainage issues, including nuisance water and flows entering and exiting the site. A final drainage study shall be submitted with the grading plan. The developer shall provide hydrology and hydraulic calculations to size any drainage structure included in the grading plan design.
 42. Grading operations and construction shall be conducted in a manner and/or measures taken to prevent sand, dust, and debris to blow onto other properties. An adequate dust palliative shall be used at all times. After completion of grading the developer shall maintain the site such that sand, dust and debris do not blow onto other properties.
 43. Temporary fencing shall be erected as required by City staff during construction to prevent windblown debris from leaving the project site and to ensure public safety.
 44. A reduced pressure backflow device per City standard W-39 must be installed behind the domestic water meter serving the site. A Fire Service Reduced Pressure Detector Assembly per City standard W-28 shall be installed on the fire protection service if on-site protection is required. The developer shall submit plans for fire hydrant relocations, new backflow devices, and new service connections to the Development Department for review and approval by the City Engineer. A current water service will serve letter from Victorville Water District is required with the plan submittal. Water service shall be subject to the conditions within the will serve letter.
 45. A permit issued from the City's Engineering Department is required prior to commencement of any work performed within public right-of-way and the City's inspection process followed for the connection to and construction of any facilities that are to be dedicated to, owned and maintained by the City.
 46. All public utility distribution lines, including service lines to the site, shall be installed by the developer.
 47. The developer shall be responsible for all costs (including application fees) incurred due to the relocation of existing utility facilities where such facilities conflict with the improvements associated with this project.

48. Landscaping within the traffic sighting distance triangle at intersections and driveway connections to public streets shall be limited to ground cover only and shall not include shrubs and trees.
49. The developer shall pay any and all fees and charges that may become effective prior to the issuance of a building permit or utility connection, and shall pay such fees as a condition of obtaining a building permit.
50. Prior to construction of any improvements or any land disturbance, the developer shall construct temporary drainage facilities and provide erosion control measures as necessary to minimize storm water run-off, erosion, and silt deposition. The developer shall provide an erosion control plan of the Best Management Practices to be implemented during construction. The National Pollutant Discharge Elimination System (NPDES) stormwater permit program requires operators of construction sites one acre or larger (including smaller sites that are part of a larger common plan of development) to obtain an NPDES permit, and prepare a Storm Water Pollution Prevention Plan (SWPPP). A copy of the SWPPP, and an erosion control plan shall be submitted to the Development Department. All NPDES guidelines must be adhered to, and best management practices followed at all times during construction.
51. A boundary survey must be performed and property corners verified prior to construction to facilitate the placement of improvements per plan direction. The developer's engineer shall provide a horizontal control plan to the City for review or provide adequate control/dimensioning on the site/grading plan.
52. The method of installation (trenching or boring) for connections to existing utilities (sewer, water, storm drain, etc.) within paved streets shall be subject to approval by the City Engineer.
53. On-site drainage to streets shall be conveyed through parkway drains or as approved by the City.
54. Pursuant to Section 16-5.12.170 of the City's Municipal Code, the owner/developer must underground the existing above ground utilities along the Balsam Road frontage and the project site if the electrical lines are 34,000 volts or under. The site plan must be revised to show the existing power poles and the required undergrounding.
55. An application for plan review and an engineer's construction cost estimate for civil improvements shall be required at the time of initial improvement plan submittal. Payment of plan and map check fees as per the City's Development Department Engineering Plan Check Fee Schedule based on the engineer's cost estimate shall be required with the plan submittal.

Fire Conditions:

56. Shall comply with all Building and Fire Code requirements based on occupancy classification.
57. Monitored fire sprinkler system(s) are required for the proposed building(s). Plans shall be submitted prior to construction.
58. Monitored fire alarm system(s) are required for proposed building(s). Plans shall be submitted prior to construction.
59. An approved on-site fire protection system, in accordance with Fire and Water Department Standards is required.

60. Provide a preliminary on-site fire protection plan which indicates the location of all required fire protection appliances (FDC's, PIV's, RP's, hydrants, etc.) Required appliances shall be unobstructed by fencing, storage containers, parked vehicles, etc.
61. Knox Box/Key Box is required and shall be provided and installed in accordance with Fire Department Standards.
62. Access gates shall be provided with an "Opticom" receiver capable of opening gates via decoding of the "Opticom" strobe signal transmitted by Fire, Police, and Ambulance units. All access gates shall require mechanical means for opening in event of power failure, shall not impinge on required clear width when fully open, and shall be equipped with Knox Box lock actuation devices.

Building Conditions:

63. The project shall comply with all building codes in effect at the time of plan submittal.
64. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
65. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Tools for estimating total permit fees are available on the City's website at <https://www.victorvilleca.gov/government/city-departments/development/permit-center/fees-forms>. Actual amounts owed will be determined upon submittal of the plans via the City's online permit center.

CONDITIONS OF APPROVAL - MINOR INTERIM USE PERMIT
ADMN20-00096
December 16, 2020

A MINOR INTERIM USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE ESTABLISHMENT OF A PARCEL DELIVERY SERVICE WITHIN AN EXISTING COMMERCIAL BUILDING ON A C-2 ZONED PROPERTY LOCATED AT 15272 BEAR VALLEY ROAD

Planning Conditions:

1. This approval is to allow for the operation of a parcel delivery service with accessory office and customer service area (e.g. package pick-up and return) located at 15272 Bear Valley Road. Facility hours of operation are 24 hours a day seven days a week with general functions as follows:
 - Facility Operations - 24 hours a day seven days a week with 1:30AM-12:30PM shift (approximately 105 employees) and a 1PM-10PM shift (approximately 45 employees).
 - Delivery Operations - Loading beginning at 8:30AM and waves of approximately 50 delivery service partner vehicles departing the facility every 30 minutes between 9AM-11AM. Delivery service partner vehicle will return between 7PM-9PM where vehicles are parked on-site. Independent contractors loading/departure from 4PM-5PM with staggered departure every 20 minutes.
 - Customer Service Operations (In person) – 10AM-9PM daily.

The Zoning Administrator may allow revised hours of operation and accessory or revised services not listed in this approval, providing the primary use does not change and the changes do not negatively affect the public health, safety, and welfare nor cause nonconformance with the City Council Policy for Interim Uses (CP-11-05).

2. Approval of this Minor Interim Use Permit shall be contingent upon the completion/fulfillment of the Conditions of Approval included with the associated Minor Site Plan Conditions of Approval.
3. All package sorting shall be performed indoors with delivery vehicle loading/unloading to take place within or directly adjacent to the building or within the staging canopy area. Additionally, no vehicle repair shall be performed on-site.
4. The proposed improvements and use shall comply with all applicable development standards of Title 16.
5. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, and/or conditions of approval.
6. Any expansion of the proposed use beyond the scope of this interim use permit shall require submission and approval of an interim use permit modification or a new interim use permit based upon the extent of the expansion.
7. Any change in use, including such changes as the expansion of on-site guest services (e.g. package pickup and return services) or implementation of a new use within the facility, which will require additional employee and/or guest parking spaces shall be reviewed and approved by the Zoning Administrator prior to implementation. Any change resulting in noncompliance with the parking

standards of Title 16, shall cause that use to be subject to Planning Commission review and approval.

8. Should a parking shortage occur on-site (e.g. employees, customers, or delivery vehicles parking off-site due to unavailability of parking on-site), as witnessed by City Staff via complaint or in person site visits and verified by the Zoning Administrator, the applicant shall immediately provide delivery vehicle parking spaces for use by employees and patrons of the site, subject to review and approval by the Zoning Administrator via revised site plan. Based upon the severity of any future parking shortage on-site, the Zoning Administrator may require a Site Plan Modification and/or a new Interim Use Permit.
9. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
10. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Fire Conditions:

11. Shall comply with all Building and Fire Code requirements based on occupancy classification.
12. Monitored fire sprinkler system(s) are required for the proposed building(s). Plans shall be submitted prior to construction.
13. Monitored fire alarm system(s) are required for proposed building(s). Plans shall be submitted prior to construction.
14. An approved on-site fire protection system, in accordance with Fire and Water Department Standards is required.
15. Provide a preliminary on-site fire protection plan which indicates the location of all required fire protection appliances (FDC's, PIV's, RP's, hydrants, etc.) Required appliances shall be unobstructed by fencing, storage containers, parked vehicles, etc.
16. Knox Box/Key Box is required and shall be provided and installed in accordance with Fire Department Standards.
17. Access gates shall be provided with an "Opticom" receiver capable of opening gates via decoding of the "Opticom" strobe signal transmitted by Fire, Police, and Ambulance units. All access gates shall require mechanical means for opening in event of power failure, shall not impinge on required clear width when fully open, and shall be equipped with Knox Box lock actuation devices.

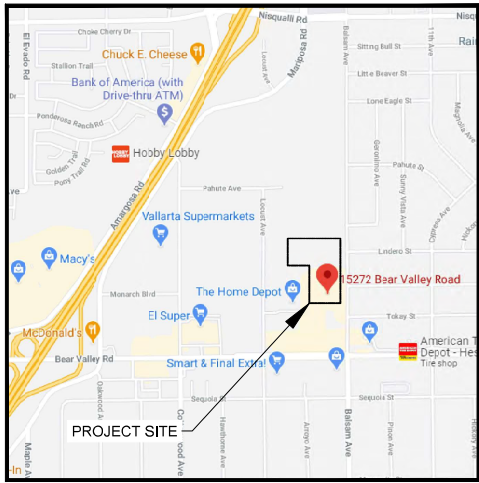
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ATTACHMENT A

SITE IMPROVEMENTS FOR DFX4 DELIVERY CENTER

15272 Bear Valley Road, Victorville, CA 92395

**APN: 3093-291-01
3093-271-07**



NOT TO SCALE

VICINITY MAP



SHEET INDEX

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES, LEGEND, & ABBREVIATIONS
C1.01	EXISTING CONDITIONS 1
C1.02	EXISTING CONDITIONS 2
C1.03	CIVIL DEMOLITION PLAN
C1.04	CIVIL SITE PLAN
C1.05	GRADING & DRAINAGE 1
C1.06	GRADING & DRAINAGE 2
C1.07	STRIPING PLAN
C1.08	UTILITY PLAN
C4.01	GRADING DETAIL 1
C4.02	GRADING DETAIL 2
C4.03	EROSION CONTROL PLAN
C4.04	EROSION CONTROL DETAILS 1
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C5.01	CIVIL DETAILS 1
C5.02	CIVIL DETAILS 2
C5.03	CIVIL DETAILS 3
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L0.03	LANDSCAPE REFERENCE PLAN
L1.10	PLANTING PLAN
L1.11	PLANTING PLAN
L1.20	PLANTING DETAILS
L1.21	PLANTING DETAILS
L2.10	IRRIGATION PLAN – SOUTH
L2.11	IRRIGATION PLAN – NORTH
L2.20	IRRIGATION DETAILS
L2.21	IRRIGATION DETAILS



CITY CASE NO.
**CITY OF VICTORVILLE
ENGINEERING DEPARTMENT**
14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By: _____ DATE _____
Brian W. Gendler, RCE C44730
City Engineer

DFX4 - Victorville, CA

AECOM

15272 Bear Valley Road, Victorville, CA 92395

606333050

ABBREVIATION

Table with 2 columns: ABBREVIATION and WORD. Lists various symbols and their corresponding terms like APPROX, AREA, ASPHALT, AVERAGE, BEARING, BECH MARK, BOTTOM, etc.

WORD

Table with 2 columns: WORD and ABBREVIATION. Lists terms like AND, APPROXIMATE, AREA, ASPHALT, AVERAGE, BEARING, BECH MARK, BOTTOM, etc.

Large table of abbreviations and words, organized in columns. Includes terms like FOUNDATION, FINISH FLOOR, FIRE HYDRANT, FIBER OPTIC CABLE, FIRE WATER, GALVANIZE, GRATE INLET, GROUND, GRADE, etc.

LEGEND

Table defining symbols for EXISTING and NEW features. Includes CONTOURS (1' & 2'), CONTOURS (5' & 10'), SPOT ELEVATION, EDGE OF PAVEMENT, CURB & GUTTER, etc.

GENERAL NOTES:

- 1. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
3. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS OR IN THE FIELD PRIOR TO BEGINNING WORK DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
6. ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER TAKES PRECEDENCE.
7. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
8. GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
9. ANY CONSTRUCTION TRAILERS USED ON-SITE SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJOINING PROPERTIES (UP PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS, ETC.) CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATOR REQUIREMENTS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
12. IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC AND DEMOLISHED MATERIAL TO FACILITATE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS IN A LEGAL MANNER.
14. LOCATE, REMOVE, REPAIR AND REPLACE EXISTING LANDSCAPE IRRIGATION SYSTEM AS NECESSARY TO CONSTRUCT IMPROVEMENTS.
15. UNLESS NOTED OTHERWISE SCAFFRY, MOISTURE CONDITION AND COMPACT THE UPPER 6-INCHES OF SUBGRADE IN ALL NEW ASPHALT PAVEMENT AND CONCRETE WORK TO AT LEAST 95% RELATIVE COMPACTION.
16. PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC. MATCH EXISTING STRIPING COLOR OR AS INDICATED IN DESIGN.
17. THE CONTRACTOR SHALL PROVIDE RETENTION SOIL MIX SPECIFICATIONS FROM THE SUPPLIER FOR APPROVAL THAT MEET STATE, COUNTY AND LOCAL REQUIREMENTS PRIOR TO DELIVERY TO THE PROJECT SITE.

SITE AND ZONING NOTES:

- 1. CURRENT ZONING IS GENERAL COMMERCIAL CAL.
2. ADJUST PAVEMENT AND/OR CURBING ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH TRANSITION AND CONTINUOUS GRADE TO ENSURE POSITIVE DRAINAGE.
3. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY LOCATION WITH THE APPROPRIATE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PRIMARY PERMITTEE: VICTORVILLE PLANNING DEPARTMENT
PERMITTEE ADDRESS: 14343 CIVIC DRIVE, PO BOX 5001, VICTORVILLE, CA 92303, Ph: (760) 955-5000

SITE LOCATION: 15272 BEAR VALLEY ROAD, VICTORVILLE, CA 92395

PARCEL ID: PARCEL: 3093-291-07, PARCEL: 3093-271-07



PROJECT DFX4 - Victorville, CA

15272 Bear Valley Road Victorville, CA 92395

CLIENT

CONSULTANT AECOM 1255 Broad St, Suite 201 Clifton, NJ 07013, USA 973 883 9500 Tel www.aecom.com

THE DRAWING HAS BEEN PREPARED FOR THE USE OF REGISTERED PROFESSIONAL ENGINEERS AND ARCHITECTS ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF AECOM. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO AECOM. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO AECOM.

REGISTRATION

Table with 2 columns: ISSUE/REVISION, DATE, DESCRIPTION. Shows revision history.

KEY PLAN

PROJECT NUMBER 60633080

SHEET TITLE CITY OF VICTORVILLE ENGINEERING DEPARTMENT GENERAL NOTES, LEGEND, & ABBREVIATIONS

SHEET NUMBER C0.01



CITY CASE NO. CITY OF VICTORVILLE ENGINEERING DEPARTMENT 14343 Civic Drive, Victorville, CA 92392 (760) 955-4000

Approved By: Brian W. Geoghegan, RCE C44330 City Engineer DATE

SURVEY CONTROL

CONTROL POINT TABLE with columns: POINT #, NORTHING, EASTING, ELEVATION, DESCRIPTION. Lists 41 control points.

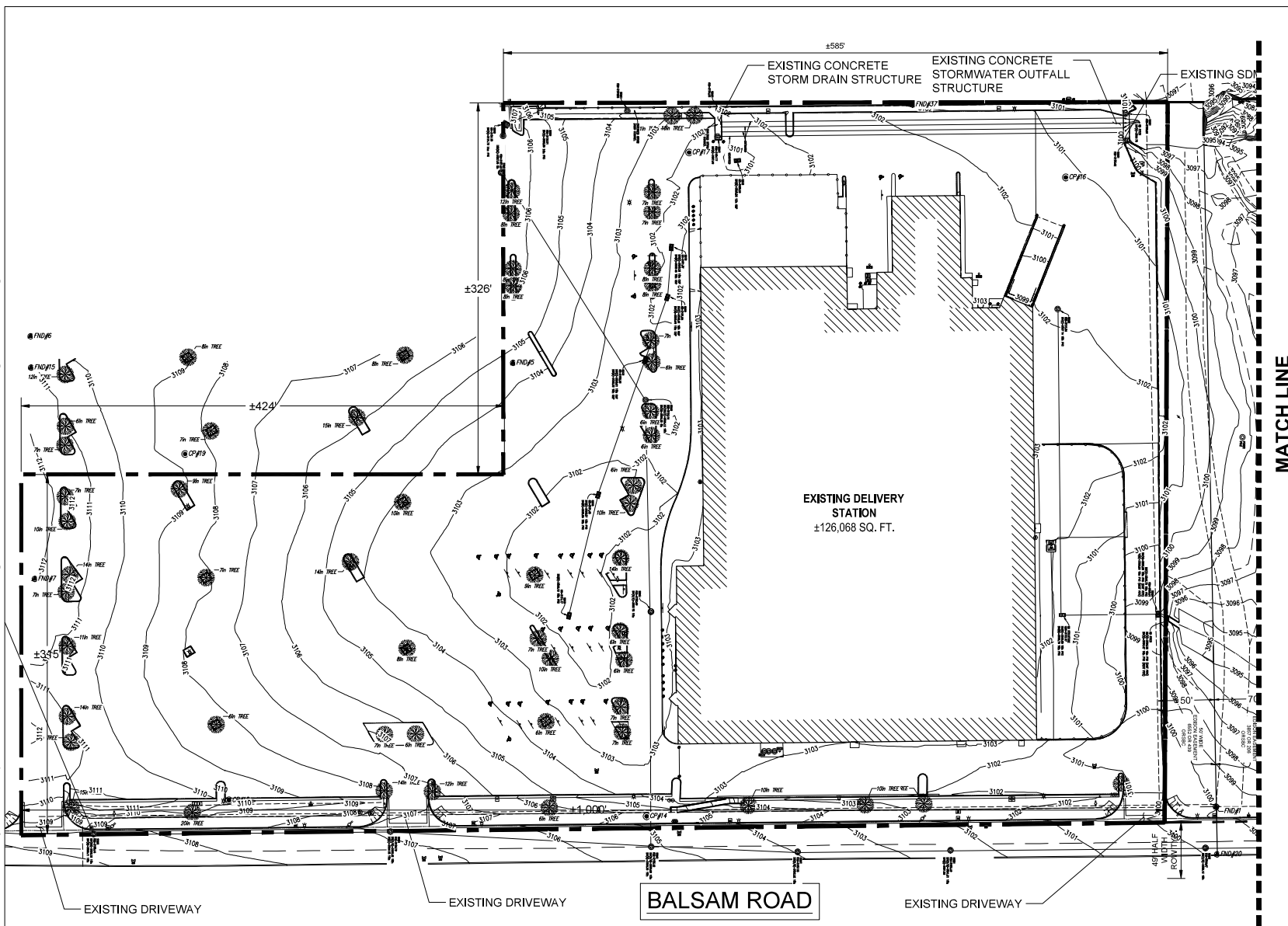
NOTES:

- 1. HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF 1983 (NAD 83), CALIFORNIA COORDINATE SYSTEM ZONE 10, SPK09 2020.00, AS DETERMINED BY NETWORK FIX OBSERVATION FROM SHARONITE NETWORK BASE CAY LOCATED IN VICTORVILLE, CA ON JUNE 4, 2020. ALL DISTANCES ARE BASED ON SURVEY FEET AND ARE GRID DISTANCES, AS DETERMINED BY SPANNET ADJUSTMENT. THE PROJECT COMBINATION FACTOR IS 0.00000000. TO CONVERT GRID DISTANCES TO GROUND LEVEL DISTANCES, MULTIPLY GRID DISTANCES BY 1.00000001.
2. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS CONTROL POINT 1, HAVING AN ELEVATION OF 3099.81 FEET.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA BASED UPON THE ALTA SURVEY OF THE SUBJECT PROPERTIES(S) PREPARED BY MUTU-COLLARS FOR GREENLAW PARTNERS, HAVING A CERTIFICATION DATE OF AUGUST 19, 2000.
4. SURVEY DATES: JUNE 4-7, 2020; AUG 24-27, 2020.

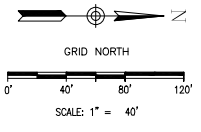
MATERIALS

Table with 2 columns: MATERIALS, NOTES. Lists EXISTING GRADE, FINISHED GRADE, CLASS 8 AGGREGATE BASE, CONCRETE, ASPHALT PAVEMENT, RP RAP, LANDSCAPE HATCH, BIOSWALE HATCH.

Dec 01, 2020 - 9:55pm
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 Project Management: dak
 Designer: nra
 Checked: nra
 Approved: nra
 AECI 10.04 x 30"



LEGEND
 SITE BOUNDARY LINE: - - - - -



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000
 Approved By:
 Date: _____



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

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 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

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REGISTRATION



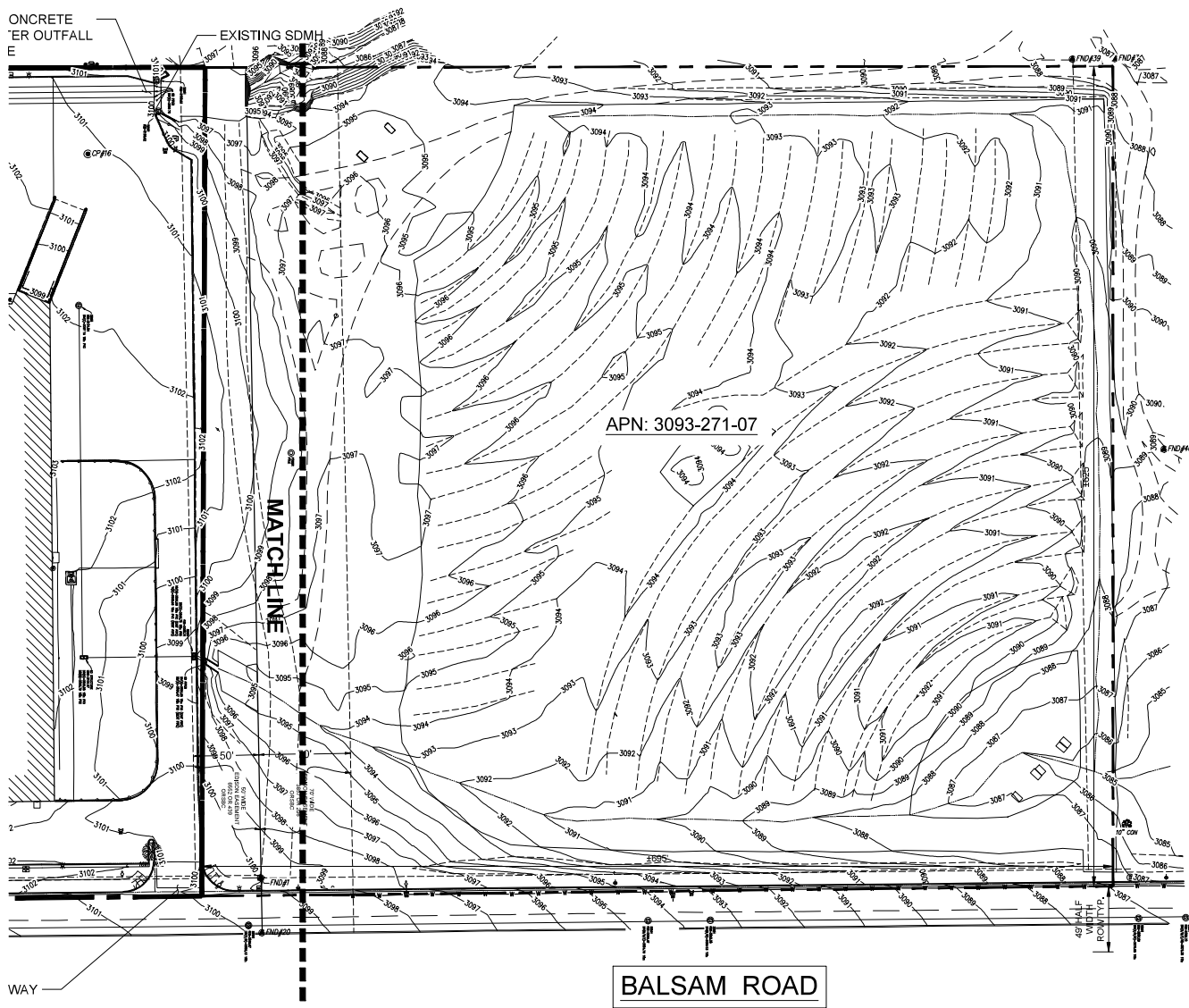
ISSUE/REVISION	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

KEY PLAN

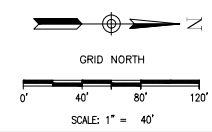
PROJECT NUMBER
 60633050
 SHEET TITLE
 EXISTING CONDITIONS 1

SHEET NUMBER
 C1.01

Dec 01, 2020 - 9:53pm
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 Project Management: nra
 Designer: nra
 Checked: nra
 Approved: nra
 AECI 10.04 x 30"



LEGEND
 SITE BOUNDARY LINE: - - - - -



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92382 (760) 955-5000
 Approved By: _____
 Date: _____



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

THE DRAWING HAS BEEN PREPARED FOR THE USE OF AECOM'S CLIENTS AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF AECOM. THE DRAWING IS THE PROPERTY OF AECOM AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AECOM. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF AECOM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF ALL MEASUREMENTS AND FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO AECOM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO AECOM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO AECOM.

REGISTRATION



ISSUE/REVISION	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

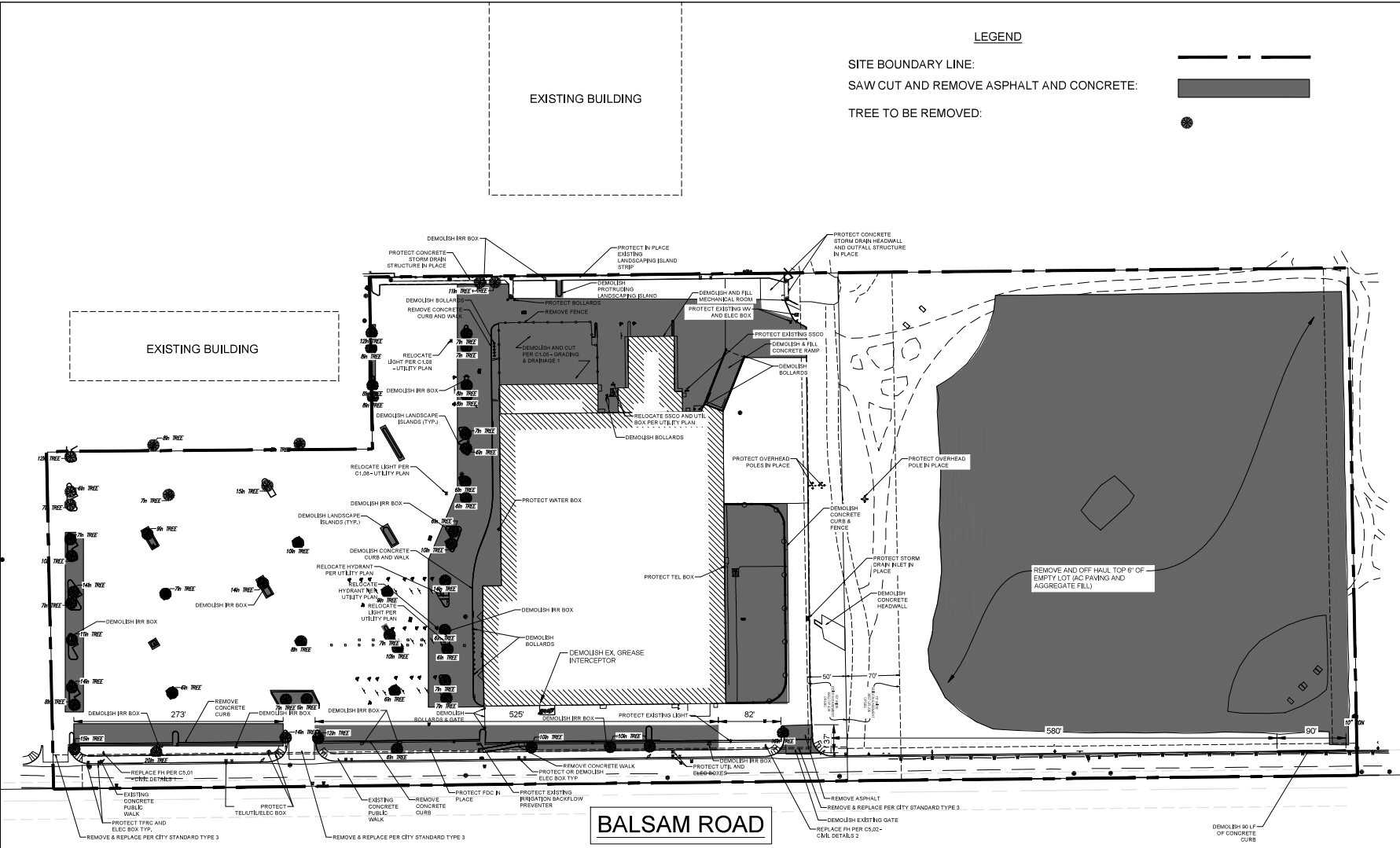
KEY PLAN

PROJECT NUMBER
 60633050
SHEET TITLE
 EXISTING CONDITIONS 2

SHEET NUMBER
 C1.02

Dec 01, 2020 - 9:53pm
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 Project Management\AECOM

Approved: _____
 Checked: _____
 Designer: _____



LEGEND

- SITE BOUNDARY LINE:
- SAW CUT AND REMOVE ASPHALT AND CONCRETE:
- TREE TO BE REMOVED:



PROJECT
DFX4 - Victorville, CA
15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1295 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

THIS DRAWING HAS BEEN PREPARED FOR THE USE OF CONCRETE DEMOLITION AND RELOCATION AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

REGISTRATION



ISSUE/REVISION	DATE	DESCRIPTION
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0	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

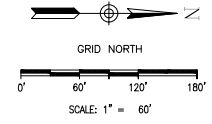
KEY PLAN

PROJECT NUMBER
 60633050
SHEET TITLE
 CIVIL DEMOLITION PLAN

SHEET NUMBER
 C1.03

CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By: _____
 Date: _____



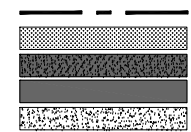
Dec 01, 2020 - 9:54pm
 C:\Users\nassisa\AECOM\Directory\Civil Group Dakland - Documents\Amazon Logistics_ _DFX4\910_CAD\DFX4-Site Plan.dwg
 Project Management\mba
 Designer:
 Checked:
 Approved:
 ARCH.D 24" x 36"

PARKING COUNTS	
VAN PARKING:	644
EMPLOYEE PARKING:	141
ADA/EVCS PARKING:	9
SEMI-TRUCK LOADING:	11

LEGEND

- NEW 4" AC ON 12" AB SECTION PER C5.01 - CIVIL DETAILS 1
 NEW 4" AC ON 6" AB SECTION PER C5.01 - CIVIL DETAILS 1
 NEW CONCRETE SECTION PER C5.01 - CIVIL DETAILS 1

SITE BOUNDARY LINE:
 LANDSCAPING:



EXISTING BUILDING



PROJECT
 DFX4 - Victorville, CA

 15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

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 SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED
 HEREIN. ANY OTHER USE OF THESE DRAWINGS WITHOUT THE WRITTEN
 PERMISSION OF AECOM IS PROHIBITED. THE USER SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS
 PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR
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 OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS
 PRIOR TO CONSTRUCTION.

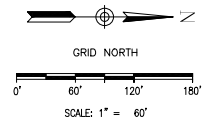
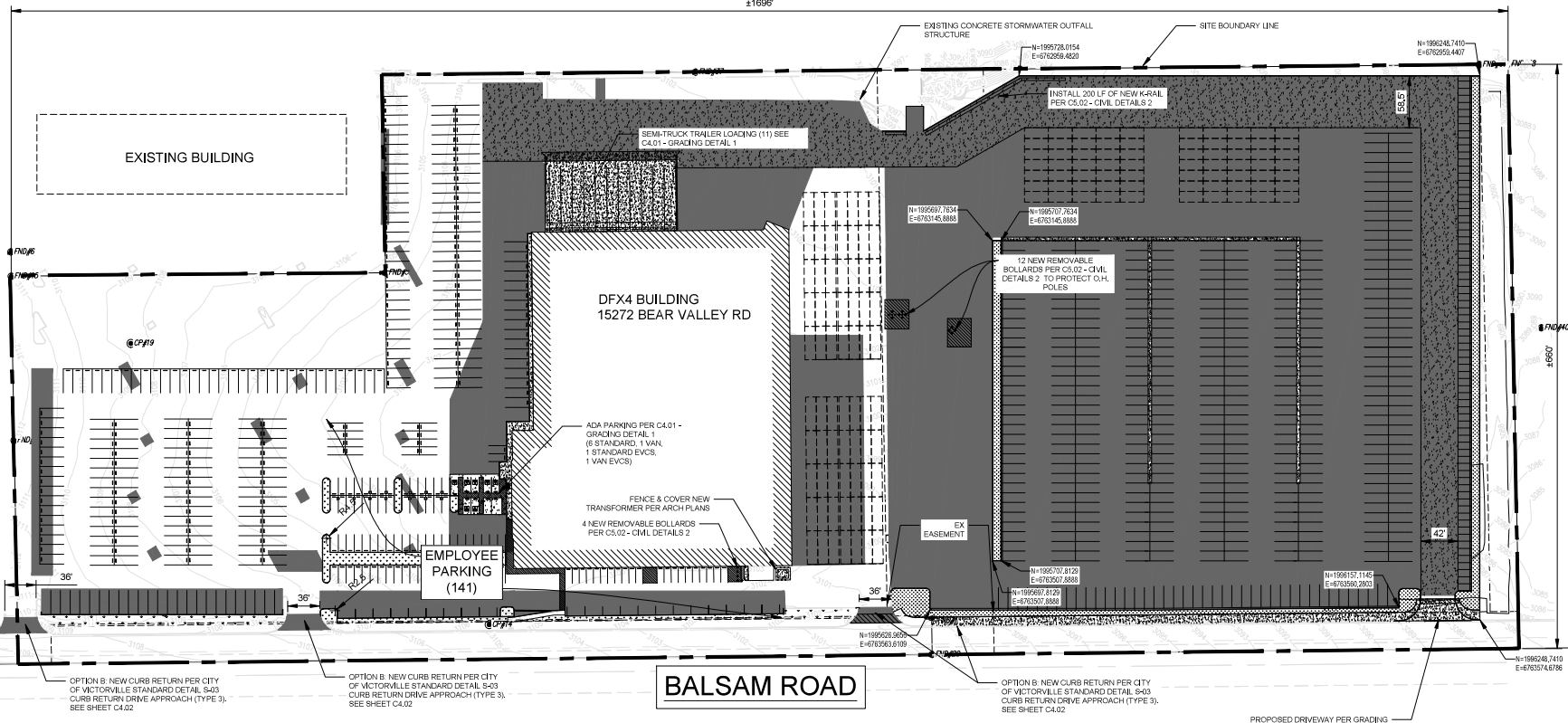
REGISTRATION



ISSUE/REVISION	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
D	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER
 60633050
SHEET TITLE
 CIVIL SITE PLAN
SHEET NUMBER
 C1.04



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000
 Approved By: Brian W. Gough, RCE C44750, City Engineer
 DATE



Dec 01, 2020 - 9:54pm
 C:\Users\vnassisa\AECMD\Directory Civil Group Dakland - Documents\Amazon Logistics - VDFX4 1910 CAD VDFX4-Grading-Planling
 Project Management/Title
 Designer:
 Checked:
 Approved:
 ARCH.DWG x 30"



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
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 973 883 8500 tel
 www.aecom.com

THE DRAWINGS HAVE BEEN PREPARED FOR THE USE OF CONCRETE, ASPHALT AND PAVED AREAS AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE DRAWINGS ARE THE PROPERTY OF AECOM AND SHALL BE KEPT IN CONFIDENTIALITY. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF AECOM. THE DRAWING IS THE PROPERTY OF AECOM AND SHALL BE KEPT IN CONFIDENTIALITY. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF AECOM. THE DRAWING IS THE PROPERTY OF AECOM AND SHALL BE KEPT IN CONFIDENTIALITY. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF AECOM.

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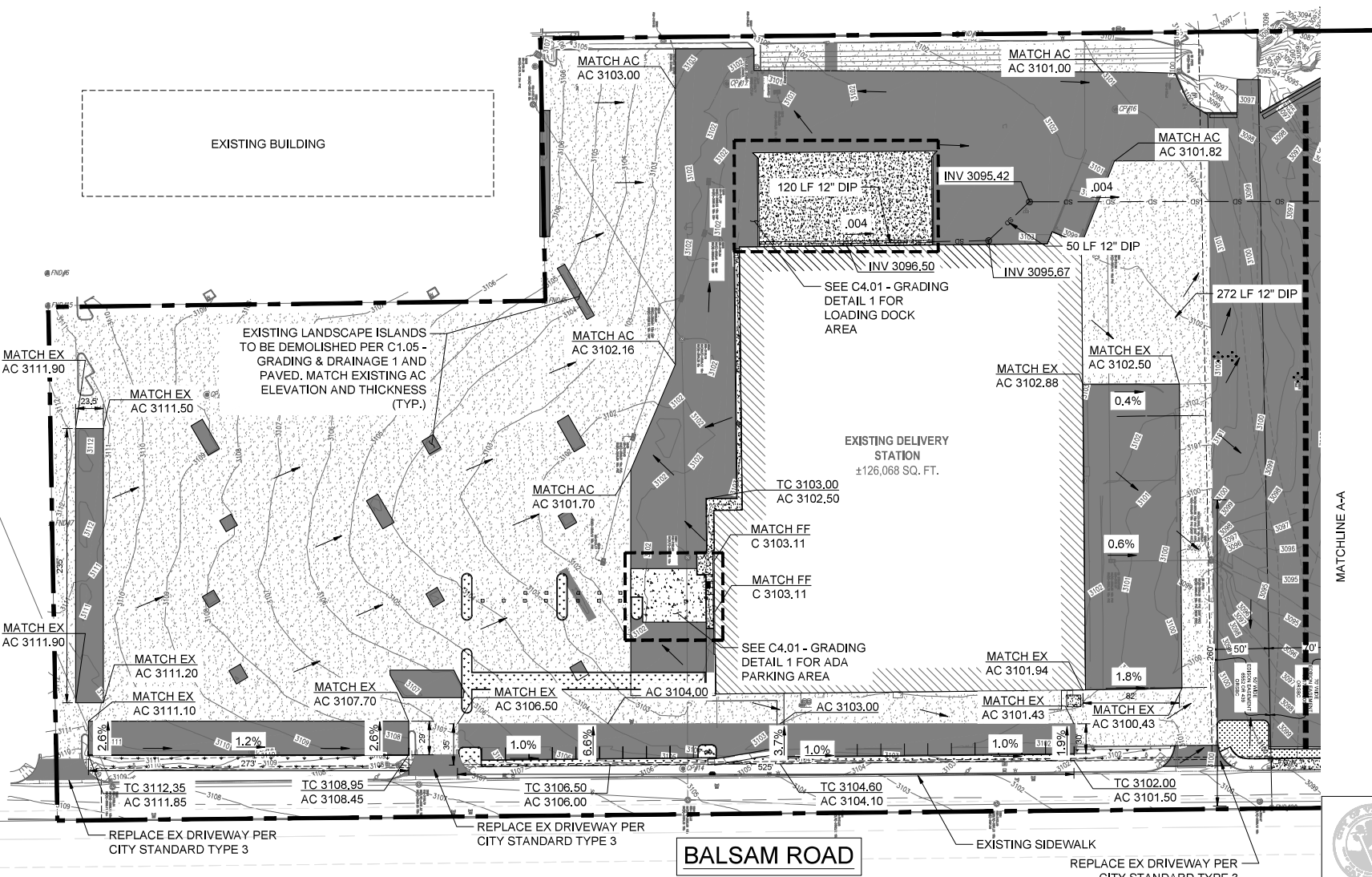
NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
0	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER
 60633050

SHEET TITLE
 GRADING & DRAINAGE 1

SHEET NUMBER
 C.105



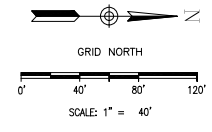
LEGEND

SITE BOUNDARY LINE:

NEW CONCRETE SECTION PER C5.01 - CIVIL DETAILS 1:

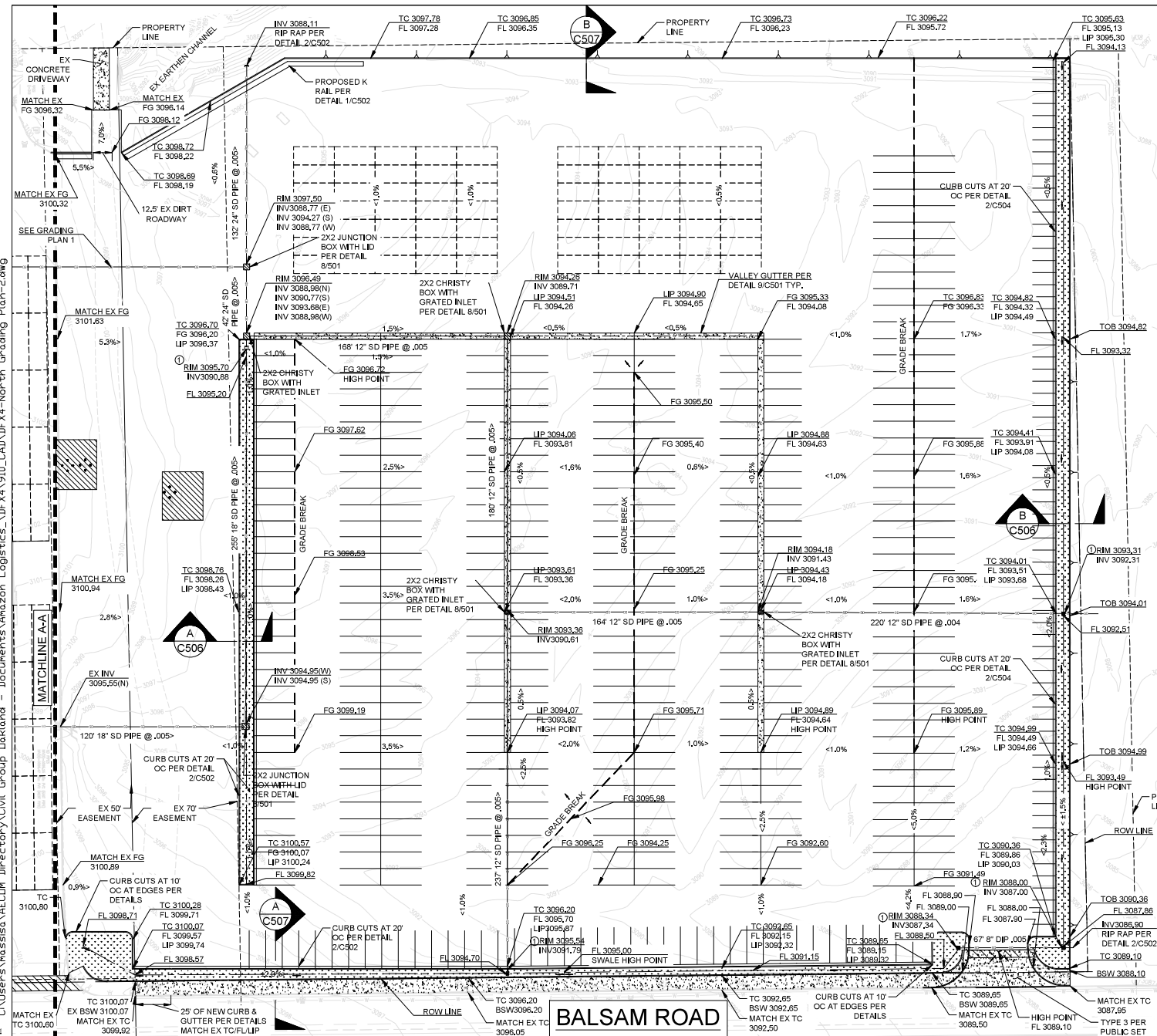
NEW ASPHALT PER C1.04 - CIVIL SITE PLAN:

EXISTING ASPHALT CONCRETE TO REMAIN:



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By: _____
 Date: _____



NOTES:
 ① EMERGENCY RAISED OVER FLOW IN EXTREME HIGH FLOW CONDITIONS 1' ABOVE CHANNEL SEE DETAIL 1/C504

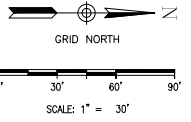
- LEGEND**
- BREAKLINE
 - - - BMP FLOW LINE
 - STORM DRAIN PIPE
 - ▨ BMP PER DETAILS
 - PROPERTY LINE
 - - - ROWLINE
 - BEE-HIVE INLET PER DETAILS
 - ▣ 2X2 INLET PER DETAIL 8/C501
 - ▲ SLOPE TO EX GRADE

SITE EARTHWORK:
 - SOUTH PARCEL CUT: 2,000 CY (1,000 CY TO BE OFF HAULED)
 - SOUTH PARCEL FILL: 1200CY

- NORTH PARCEL CUT: 8,200 CY (5,000 CY TO BE OFF HAULED)
 - NORTH PARCEL FILL: 24,400 CY

NET: 21,400 CY FILL
 * ALL VOLUMES ARE BANK VOLUMES & DO NOT INCLUDE SHRINKAGE*

- DETAIL:**
- SOUTH PARCEL CUT: SEMI RAMP AREA.
 - AC PAVEMENT AREAS
 - SOUTH PARCEL FILL: MECHANICAL ROOM, SINGLE SEMI CONCRETE RAMP
 - NORTH PARCEL CUT: 8" ACROSS ENTIRE SITE, BMP AREAS
 - NORTH PARCEL FILL: ASPHALT & SUBGRADE
- NOTE:**
- CONTRACTOR TO CONDUCT INDEPENDENT EARTHWORK CALCULATION
 - CONTRACTOR TO NOTIFY GEOTECHNICAL ENGINEER GRADING OF NORTH PARCEL TO OBSERVE EX SOIL CONDITIONS AT SITE AND CHECK FOR UNDOCUMENTED FILL
 - ASPHALT DEMO & UNDOCUMENTED FILL TO BE OFFHAULED, ANY OFFHAUL VOLUMES TO BE USED AS FILL MUST BE APPROVED BY GEOTECHNICAL ENGINEER



PROJECT
 DF4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

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IF IN THE PERFORMANCE OF THE CONTRACTOR'S OBLIGATIONS INDICATED BY THE DRAWINGS, THE CONTRACTOR OBSERVES ANY UNDOCUMENTED FILL OR OTHER OBSTRUCTIONS TO THE PROPOSED GRADING, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY AND COMPLETENESS OF THE INFORMATION.

IF THE SOIL IS FOUND TO BE UNDOCUMENTED FILL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE FILL AND REGRADING TO THE PROPOSED GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR THE FILL REMOVAL AND REGRADING.

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET
3	DATE	DESCRIPTION

KEY PLAN

CITY CASE NO.
 60633050

SHEET TITLE
 GRADING & DRAINAGE 2

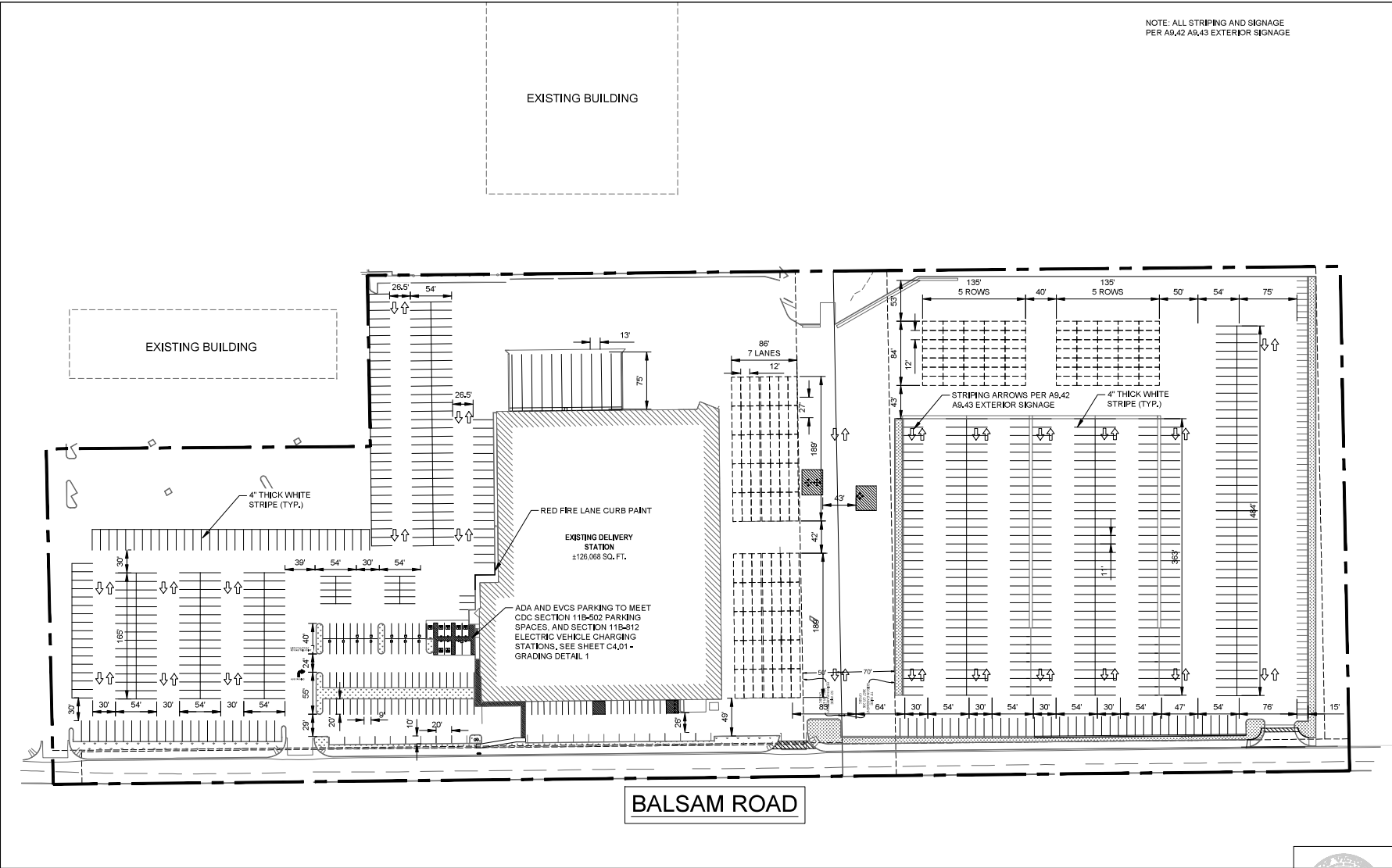
SHEET NUMBER
 C1.06

CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-4000

Approved By: [Signature]
 Date: [Blank]
 Title: W. Gaudin, RCE 044790
 City Engineer

BALSAM ROAD

Dec 01, 2020 - 9:55pm
 C:\Users\vnassisa\AECOM\Directory\Civil Group Dakland - Documents\Amazon Logistics_\DFX4\910_CAD\DFX4-Stripping_Plan.dwg
 Project Management/Title
 Designer:
 Checked:
 Approved:
 ARCH D 24" x 30"



NOTE: ALL STRIPING AND SIGNAGE PER A9.42 A9.43 EXTERIOR SIGNAGE



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT

AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

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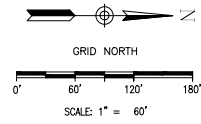
REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
0	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

KEY PLAN



CITY CASE NO.

CITY OF VICTORVILLE
ENGINEERING DEPARTMENT

14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

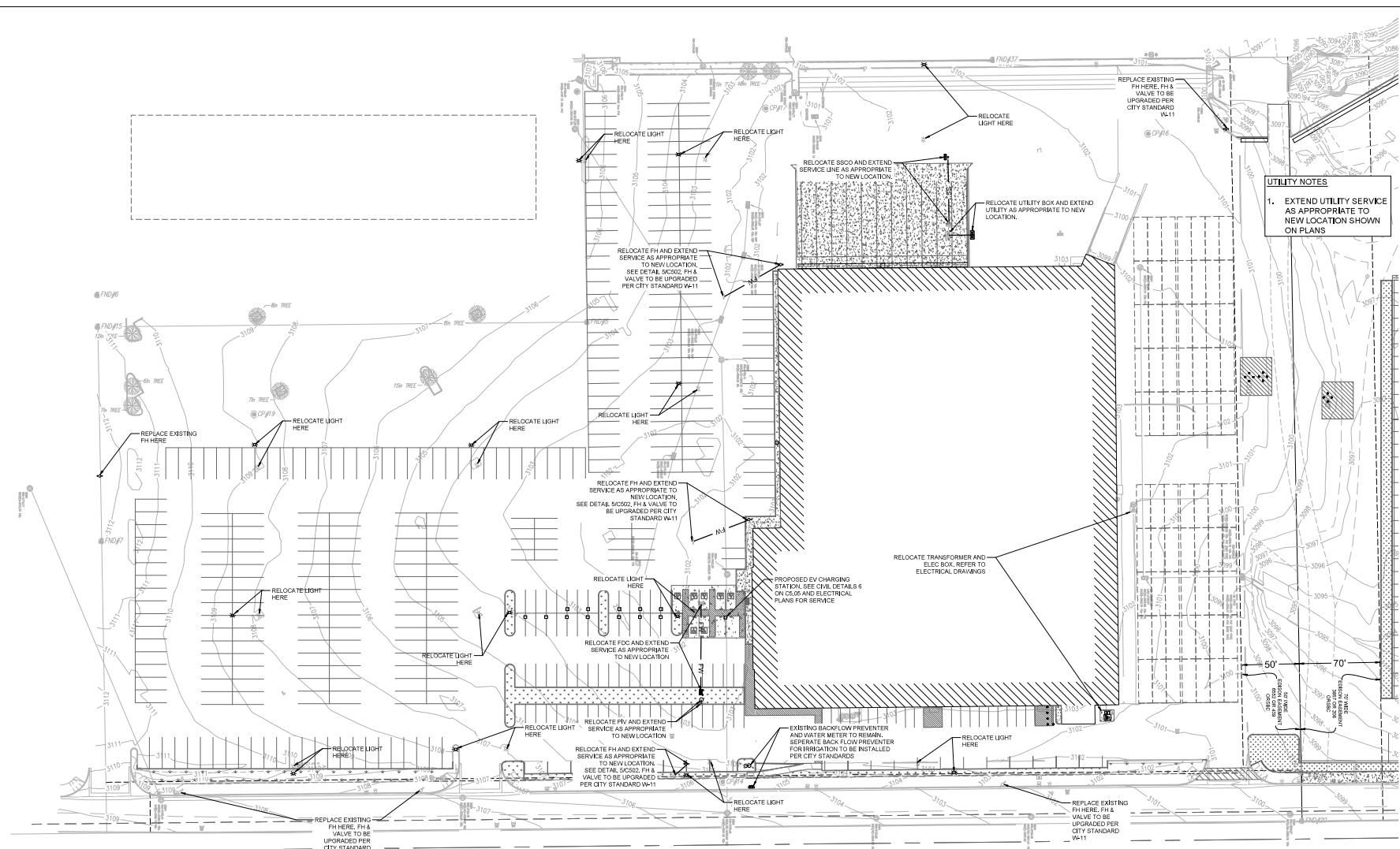
Approved By: _____
 Date: _____

PROJECT NUMBER
60633050

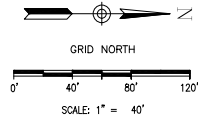
SHEET TITLE
STRIPING PLAN

SHEET NUMBER
C.1.07

Dec 01, 2020 - 9:55pm
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 Project Management: nra
 Designer: nra
 Checked: nra
 Approved: nra
 AECI 10.04 x 30"



BALSAM ROAD



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92382 (760) 955-5000
 Approved By: _____ DATE _____
 Steve W. Grogan, RCE C44730
 City Engineer



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT
AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

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REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
0	10/13/2020	100% PERMIT SET

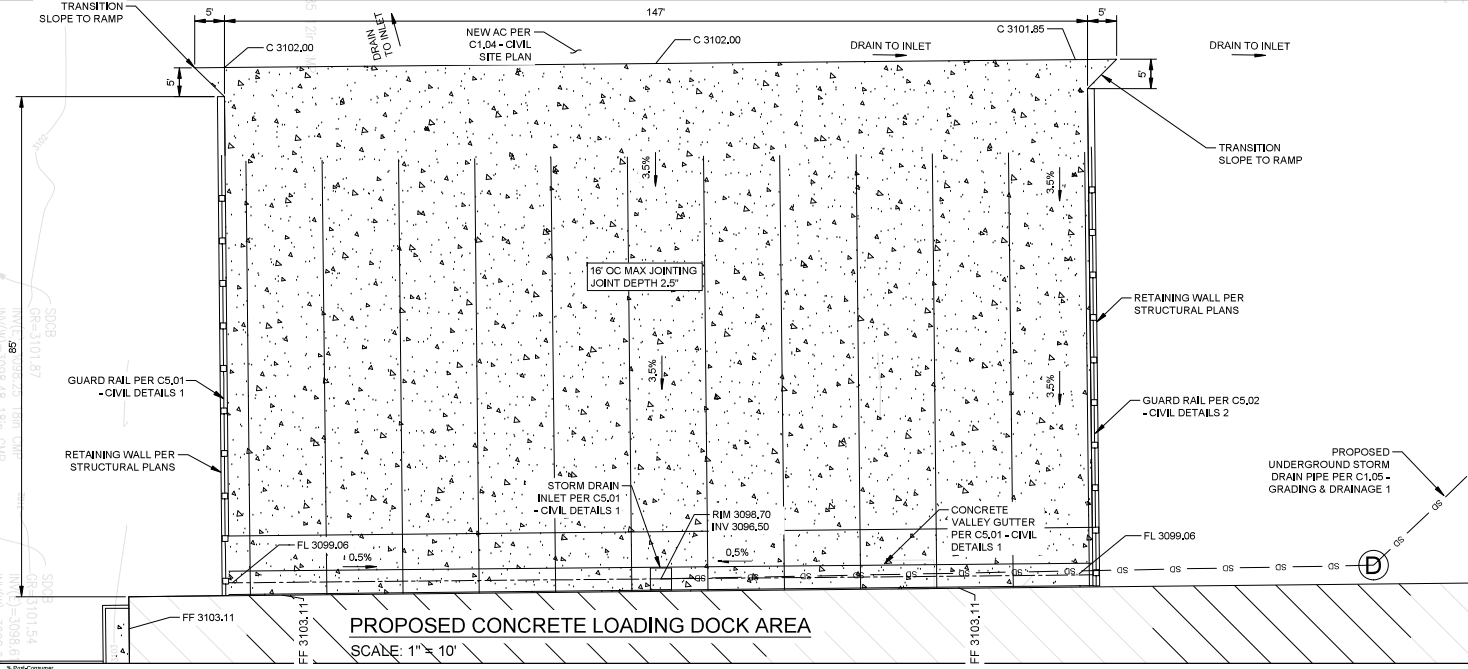
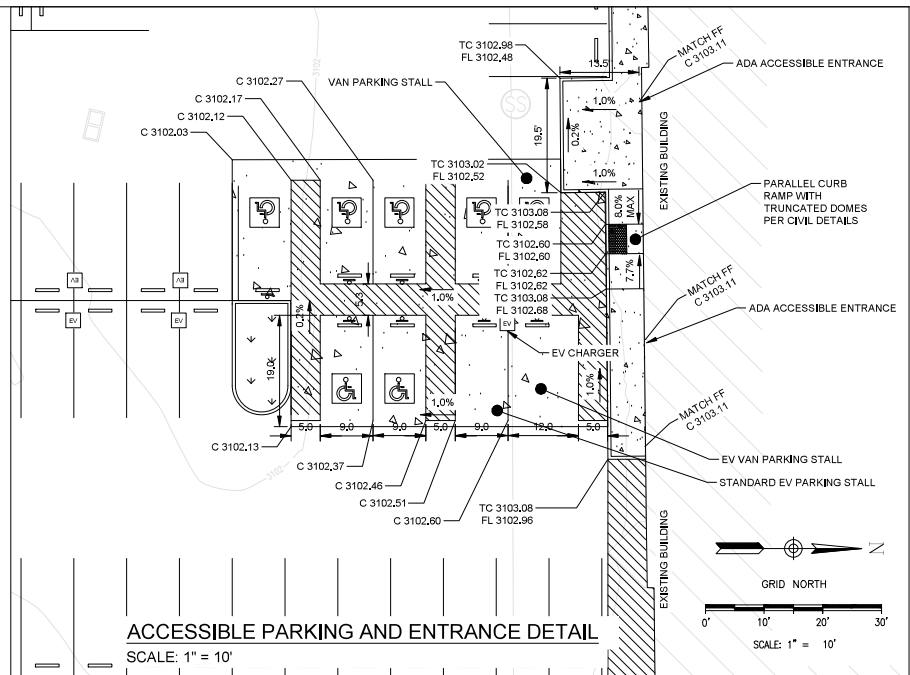
KEY PLAN

PROJECT NUMBER
 60633060
SHEET TITLE
 UTILITY PLAN

SHEET NUMBER
C1.08



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 Project Management/Title
 Designer:
 Checked:
 Approved:
 ARCH/D 24 x 30"



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT
AECOM
1255 Broad St, Suite 201
Clifton, NJ 07013, USA
973 883 8500 tel
www.aecom.com

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REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION

KEY PLAN



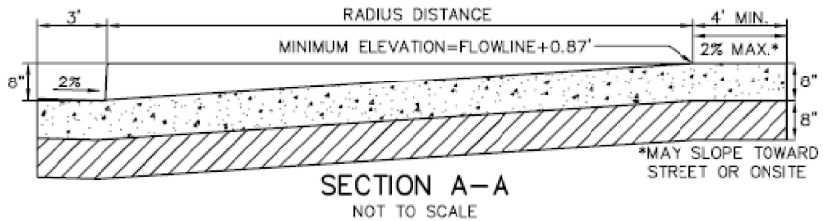
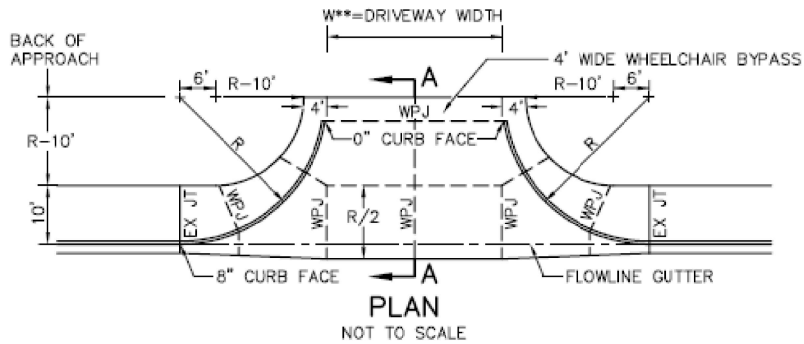
CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By: _____ DATE _____
 Bill W. Gough, P.E. C44750
 City Engineer

PROJECT NUMBER
60633050
SHEET TITLE
GRADING DETAIL 1
SHEET NUMBER
C4.01

Dec 01, 2020 - 9:57pm
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 Project Management\mssassa
 Designer: mssassa
 Checked: mssassa
 Approved: mssassa
 ARCH D 24 x 30"

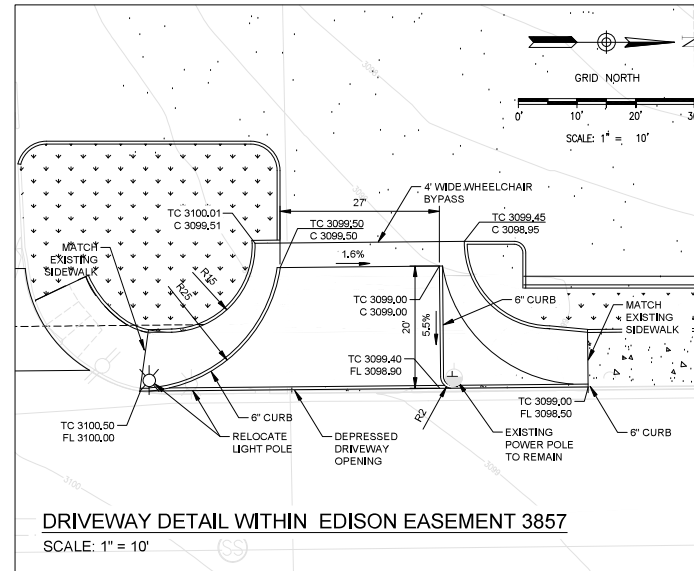
R	W**	**MAY BE WIDER WHEN ADDITIONAL LANES ARE JUSTIFIED AND WITH CITY ENGINEER'S APPROVAL
20'	30'-40'	



NOTES:

1. COMMERCIAL DRIVE APPROACH SHALL BE CONSTRUCTED FROM PORTLAND CEMENT CONCRETE CONTAINING NOT LESS THAN 550 POUNDS OF TYPE II PORTLAND CEMENT PER CUBIC YARD WITH 4% AIR ENTRAINMENT AND 1" MAXIMUM AGGREGATE GRADING.
2. CONCRETE SHALL BE CURED WITH WHITE PIGMENTED CURING COMPOUND.
3. COMMERCIAL DRIVE APPROACH SHALL BE CONSTRUCTED ON MINIMUM 8" CLASS 2 AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION.
4. WEAKENED PLANE JOINTS SHALL BE AT LEAST 2" DEEP.
5. EXPANSION JOINTS SHALL BE CONSTRUCTED AT BOTH ENDS OF DRIVEWAY APPROACHES.
6. EXPANSION JOINTS SHALL BE 1/2" WIDE AND FILLED WITH PLASTIC TYPE FILLERS.
7. COMMERCIAL DRIVE APPROACH SHALL BE MEDIUM BROOM FINISH.

CITY OF VICTORVILLE - ENGINEERING DEPARTMENT			
REV.	DATE	BY	DESCRIPTION
	2/12/93	D.G.H.	CURB RETURN COMMERCIAL DRIVE APPROACH (TYPE 3)
1	6/1/07	STAFF	JOHN A. McGLADE, CITY ENGINEER



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT

AECOM
1255 Broad St, Suite 201
Clifton, NJ 07013, USA
973 883 8500 tel
www.aecom.com

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE DATA LOCATED AND ASSURE ALL INFORMATION IS CORRECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

WITH THE SOLE EXCEPTION OF THE CONTRACTOR'S SPECIAL RESPONSIBILITIES FOR THE PROJECT, THE ENGINEER'S SPECIAL RESPONSIBILITIES FOR THE PROJECT ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE CURB AND DRIVEWAY APPROACH WITHIN THE EDISON EASEMENT.

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/1/2020	100% PERMIT SET R1
D	10/13/2020	100% PERMIT SET
REV	DATE	DESCRIPTION

KEY PLAN



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By:

Bill W. Gough, RCE 044730
City Engineer

DATE

PROJECT NUMBER

60633050

SHEET TITLE

GRADING DETAIL 2

SHEET NUMBER

C4.02

04/03/20



PROJECT
 DFX4 - Victorville, CA

 15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 301
 Clifton, NJ 07013, USA
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REGISTRATION



ISSUE/REVISION

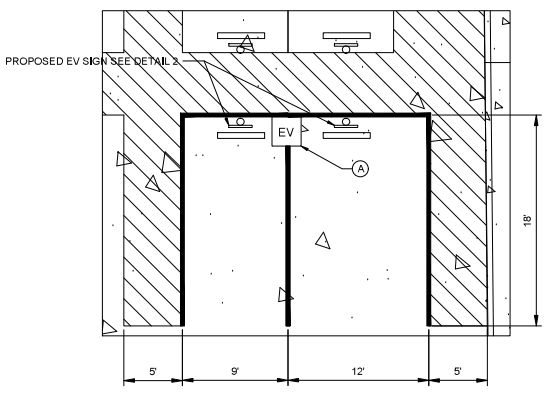
NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET
DR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER
 60633060
SHEET TITLE
 CIVIL DETAILS 5
SHEET NUMBER
 C5.05

CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92382 (760) 955-5000

Approved By: _____ DATE _____
 Brian W. George, RCE C44730
 City Engineer

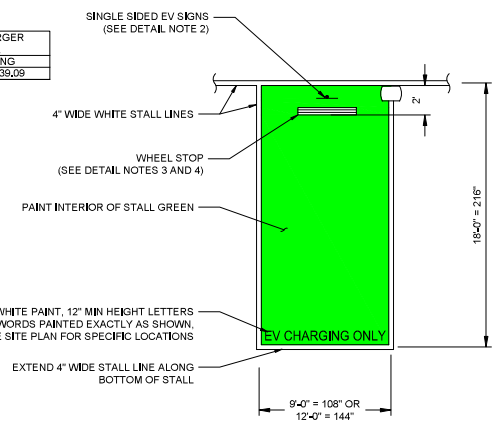


1
 GROUND LEVEL EV CHARGING STATION
 SCALE: 1"=5'

- PLAN NOTES:**
- EV PARKING AS SHOWN ON PLANS.
 - EXISTING SLOPE OF EV PARKING STALLS IS MAXIMUM 2% SLOPE AND CROSS.

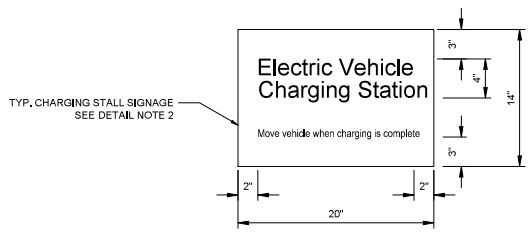
GROUND LEVEL CHARGER LOCATION TABLE

NORTHING	EASTING
A, 996132.54	6763439.09



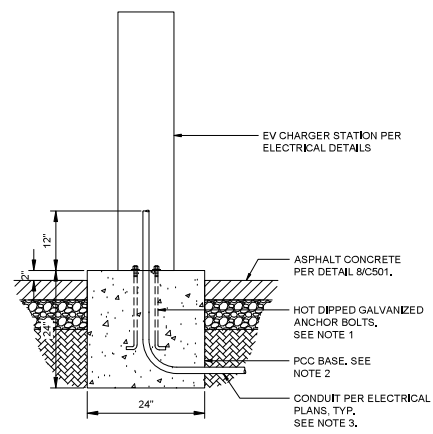
3
 DESIGNATED EV PARKING STALLS
 SCALE: NTS

- NOTES:**
- THE ACCESSIBLE EV SPACE, PATH AND ACCESSIBLE CHARGING STATION EQUIPMENT SHALL MEET ALL APPLICABLE PROVISIONS AS SET FORTH IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY REQUIREMENTS.
 - SIGNS TO CONFORM TO CURRENT STATE AND LOCAL REGULATIONS.
 - 4-FT LONG, 6-IN WIDE WHEEL STOP TO BE ANCHORED TO PAVEMENT.
 - ALL WHEEL STOPS SHALL COME WITH 2 STANDARD DIAMETER PREDRILLED HOLES.



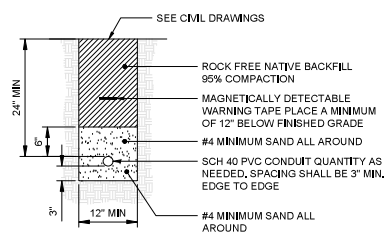
TYP. CHARGING STALL SIGNAGE
SEE DETAIL NOTE 2

2
 ELECTRIC VEHICLE SIGN
 SCALE: NTS



4
 EV CHARGER BASE DETAIL
 SCALE: NTS

- NOTES:**
- ANCHOR BOLTS MUST EXTEND AT LEAST 2" ABOVE CONCRETE AND 9" BELOW CONCRETE.
 - CONCRETE BLOCK SHOULD EXTEND NO MORE THAN 2" ABOVE GRADE.
 - CONDUIT MUST EXTEND 12-24" ABOVE CONCRETE.



5
 CONDUIT TRENCH DETAIL
 SCALE: NTS

Dec 01, 2020 - 9:59pm
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 Project Management made
 Designer
 Checked
 Approved
 ARCH D 04 x 36"



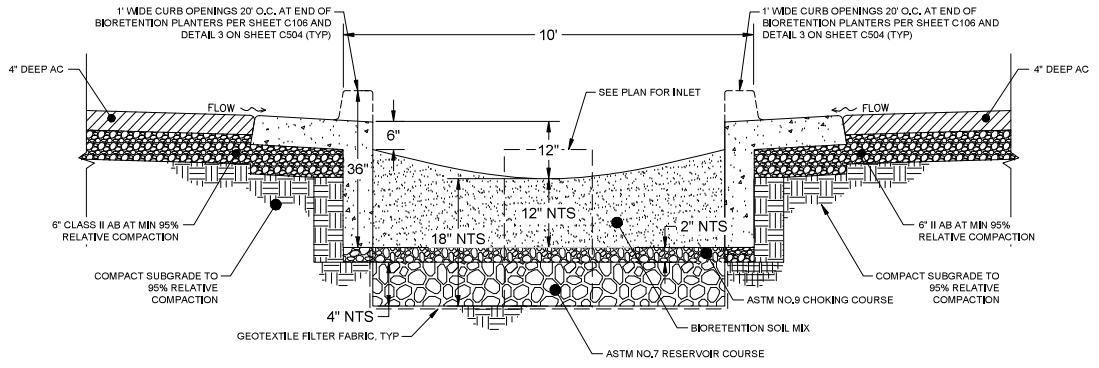
PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

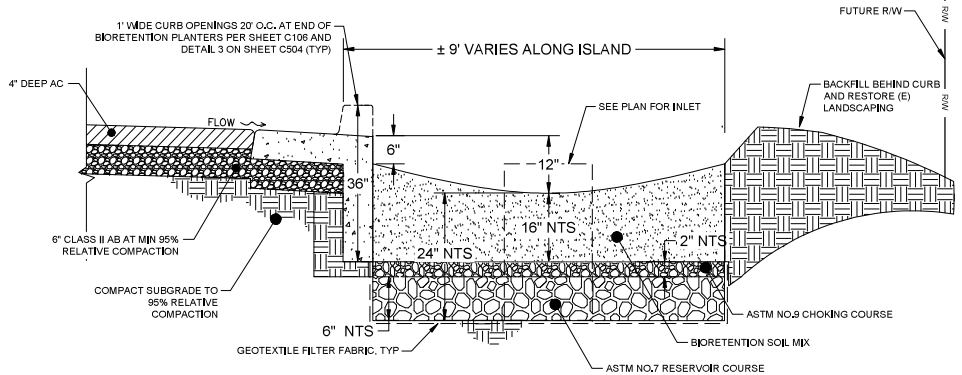
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A BIORETENTION SECTION
 SCALE: 1"=1'



B BIORETENTION SECTION
 SCALE: 1"=1'

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET

KEY PLAN



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000
 Approved By: _____ DATE _____
 Brian W. George, RCE C44730
 City Engineer

PROJECT NUMBER
 60633080
SHEET TITLE
 CIVIL SECTIONS 1
SHEET NUMBER
 C5.06



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET
DR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

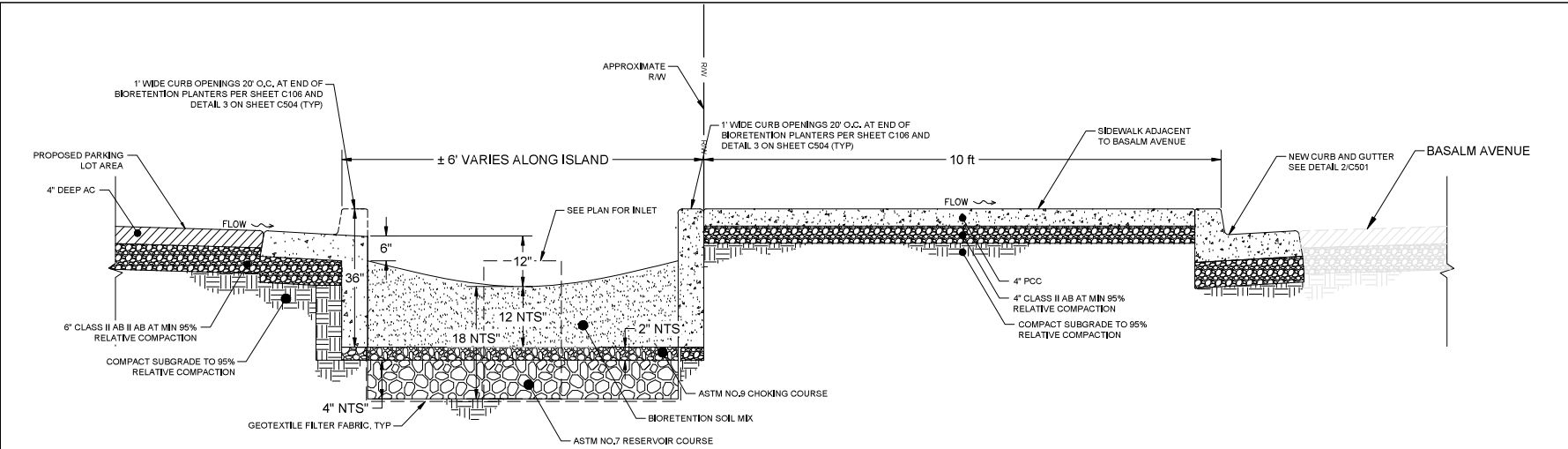
60633080

SHEET TITLE

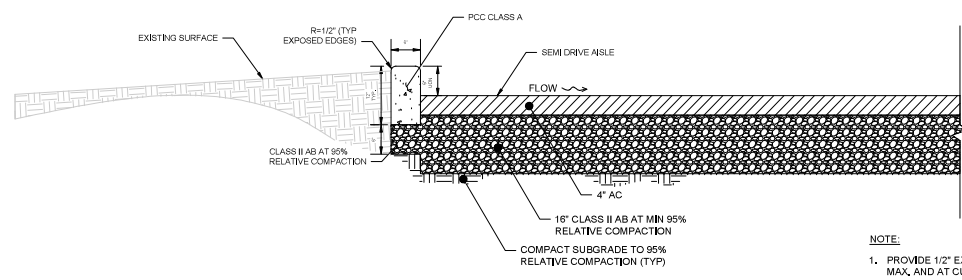
CIVIL SECTIONS 2

SHEET NUMBER

C5.07



A BIORETENTION SECTION
SCALE: 1"=1'



B PROPOSED WESTERN PARKING LOT TRANSITION SECTION
SCALE: 1"=1'

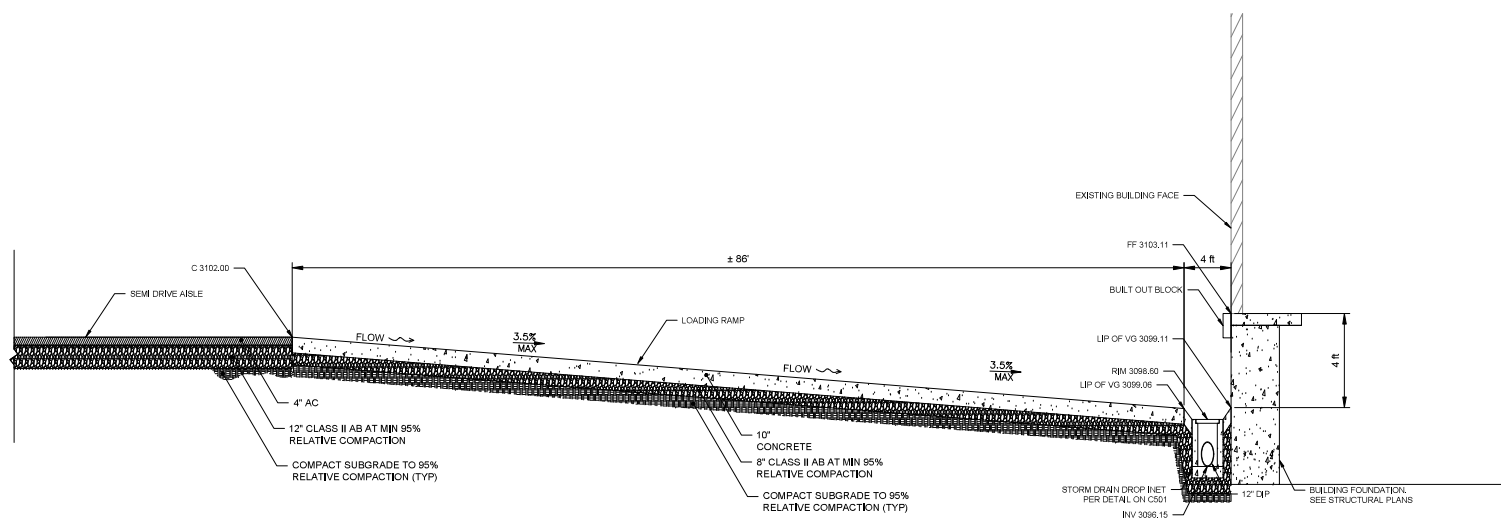
- NOTE:
1. PROVIDE 1/2" EXPANSION JOINTS AT 16'-0" O.C. MAX. AND AT CURVE TANGENTS AND CORNERS.
 2. CONCRETE STRENGTH 4000 PSI MIN.

CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
14343 Civic Drive, Victorville, CA 92392 (760) 955-5000

Approved By:
Brian W. George, RCE C44730
City Engineer

DATE _____

Dec 01, 2020 - 10:00pm
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 Project Management: nrassisa
 Designer: nrassisa
 Checked: nrassisa
 Approved: nrassisa
 ARCH D 04 x 36"



A A LOADING BAY SECTION
 SCALE: HZ = 1:5
 VT = 1:2



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

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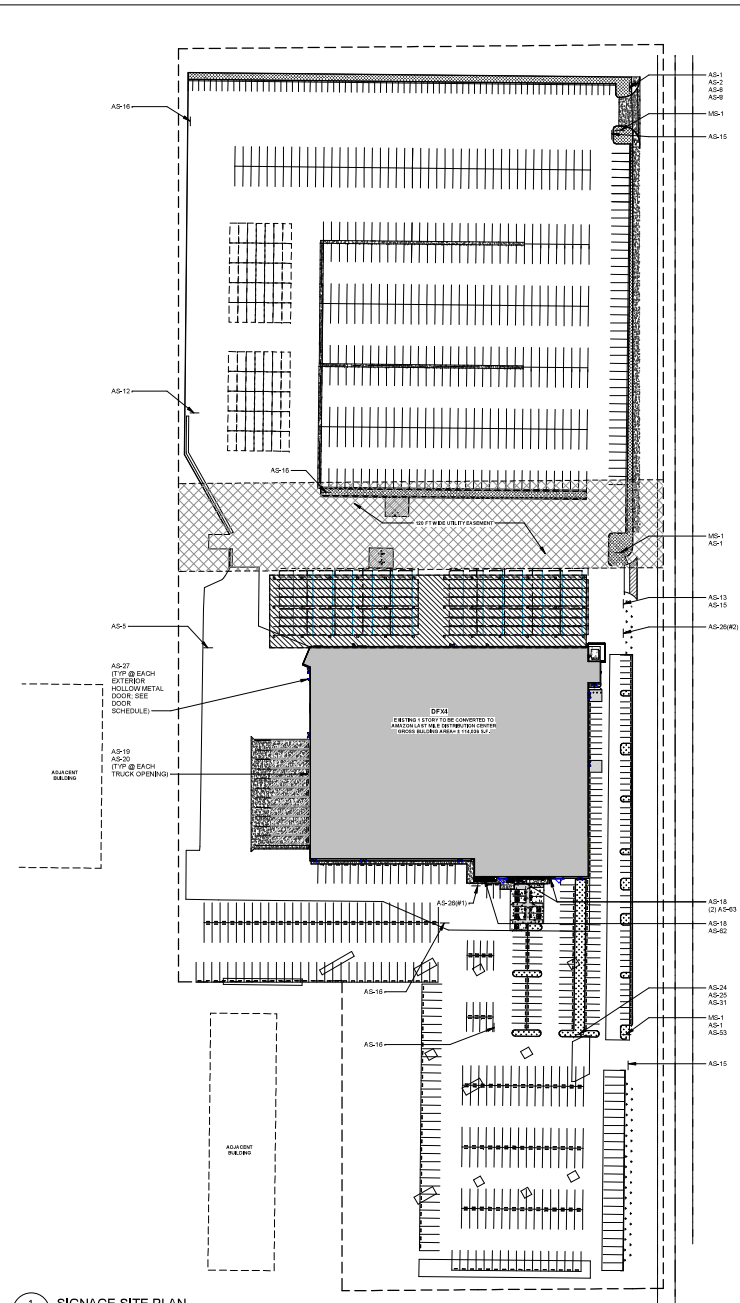
NO.	DATE	DESCRIPTION
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DR	DATE	DESCRIPTION

KEY PLAN



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92392 (760) 955-5000
 Approved By: _____ DATE _____
 Brian W. George, RCE C44730
 City Engineer

PROJECT NUMBER
 60633060
SHEET TITLE
 CIVIL SECTIONS 3
SHEET NUMBER
 C5.08



1 SIGNAGE SITE PLAN
 1" = 80'-0"

GENERAL NOTES - SITE SIGNAGE

1. FINAL SIGN QUANTITIES SHALL BE COORDINATED AND VERIFIED IN THE FIELD.
2. REFER TO SIGNAGE DETAIL SHEET FOR TYPES, SIZES AND ADDITIONAL LOCATIONS WHERE APPLICABLE.
3. ALL CHANGES, STRIPING AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. ALL STRIPING SHALL BE CONCRETE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC REFLECTIVES.
5. SIGNS WITH DIRECTIONAL ARROWS: ADJUST ARROWS PER FINAL LOCATION.
6. COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.
7. ASPHALT SPEED RAVERS AND SPEED BUMPERS SHALL BE INSTALLED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED, UNLESS OTHERWISE NOTED.
8. ALL PROPOSED SIGNS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT PAVEMENT WORKMANSHIP REAL ESTATE STORAGE STANDARDS REVISION 10 DATED QUARTER 2, 2019 OR CURRENT EDITION.
9. ADDITIONAL SIGNAGE NOT SHOWN ON PLAN OR DETAILS (E.G., FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR AUTHORITY HAVING JURISDICTION. AIA/SUBCONTRACTOR SHALL COORDINATE WITH LOCAL AIA AND PROVIDE AS REQUIRED.
10. TYPICAL SIGN FONT IS SET IN ARIAL.

SIGNAGE LEGEND

XXXW (LEFT/RIGHT) (DIRECTION)
 ↳ DIRECTION OF SIGN FACE
 ↳ INDICATES ARROW DIRECTION IF APPLICABLE
 ↳ SIGN NUMBER (PER LEGEND)
 ↳ SIGN TYPE IS - SIGN, AS - TENANT SIGN, PG - PAVEMENT GRAPHIC

TENANT SIGN FACE LEGEND

AS-1	ADDRESS SIGN
AS-2	TRUCKS/MOTOR USHER
AS-5	YARD RULES
AS-6	TRUCK ENTRANCE
AS-7	DRIVERS LOUNGE
AS-4	RECEIVING DRIVER ENTRANCE
AS-8	SHIPPING DRIVER ENTRANCE
AS-10	TRACTOR PARKING
AS-12	TRAILERS MUST BE 5FT FROM WALL
AS-13	NO ENTRANCE
AS-14	NO EXIT
AS-15	EXIT
AS-16	WAYFINDING
AS-17	DROP-OFF/PICK-UP AREA, STRAIGHT ARROW
AS-17(L)	DROP-OFF/PICK-UP AREA, LEFT ARROW
AS-17(R)	DROP-OFF/PICK-UP AREA, RIGHT ARROW
AS-20	DOCK NUMBERS
AS-21	DROK-OFF AND PICKUP
AS-23	ASSOCIATE OF THE MONTH
AS-24	VENDOR PARKING
AS-25	VENDOR PARKING
AS-26	MUSTER AREA
AS-29	MOTORCYCLE PARKING
AS-30	NON-SMOKING AREA
AS-31	CUSTOMER PARKING
AS-33	WAYFINDING (MOTORS & ASSOCIATES, TRUCKS)
AS-39	PARKING LOCATION (AS-0W, AS-5W, AS-5M, AS-5W, AS-5W)

REFER TO DETAILS FOR ADDITIONAL TYPES.



PROJECT
 DFX4 - Victorville, CA

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NO.	DATE	ISSUED FOR PERMIT	DESCRIPTION
0	10/30/2020	ISSUED FOR PERMIT	

PROJECT NUMBER
 60633050

SHEET TITLE
 SITE SIGNAGE PLAN

SHEET NUMBER
 A0.11

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NO.	DATE	DESCRIPTION
0	10/02/2020	ISSUED FOR PERMIT
1		
2		

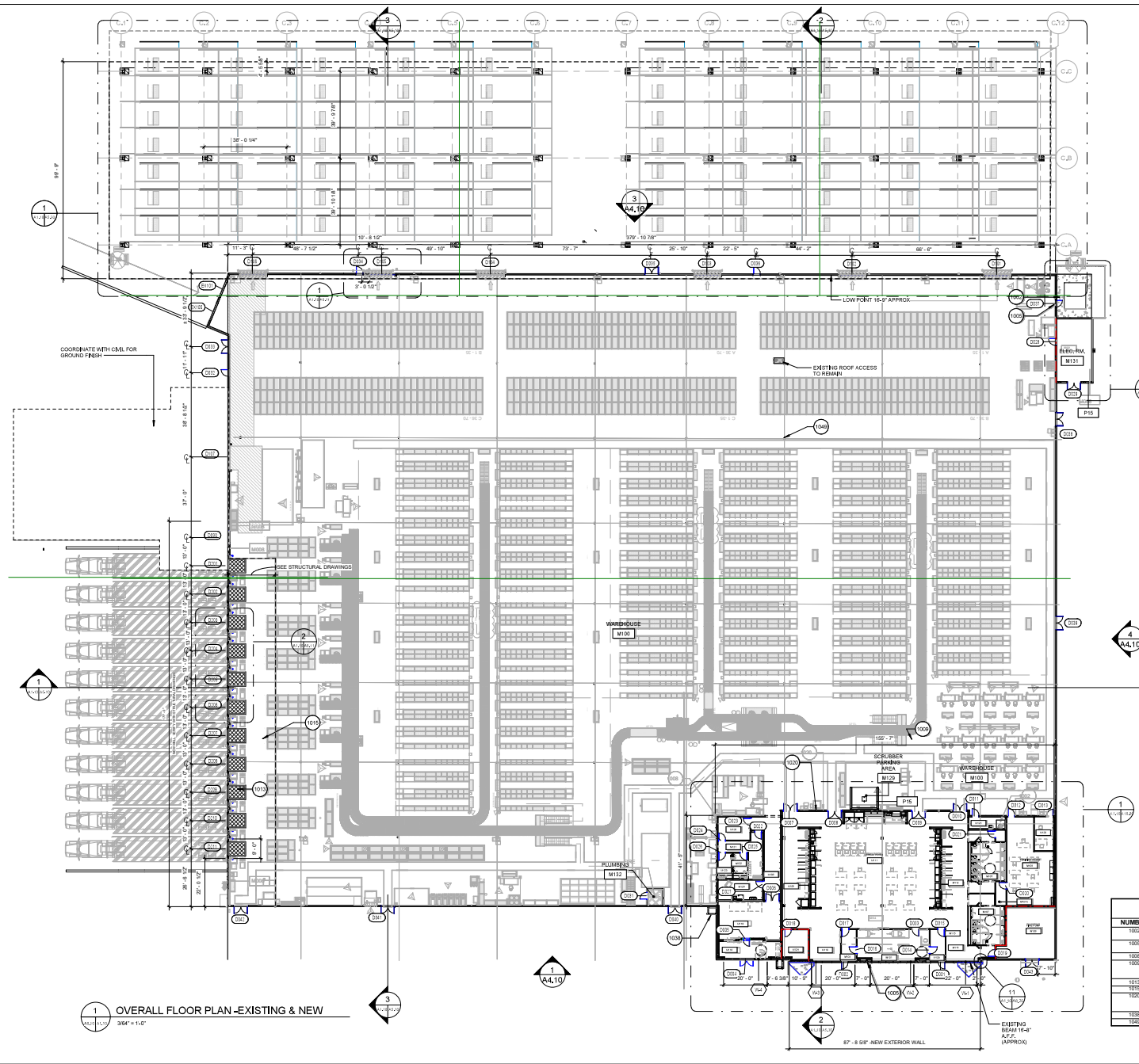
NOT FOR CONSTRUCTION

Designer: Designer Checked: Checker Approved: Approver ARCH D 08 " 30"

Project Management/Title:

1 EXTERIOR SIGNAGE

2 MOUNTING DETAILS



LEGEND:

NOTE: ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FINISH FACE UNLESS OTHERWISE NOTED.

- EXISTING WALL ASSEMBLY TO REMAIN
- 0 HOUR FIRE RESISTANCE RATING
- - - - 45 MIN FIRE RESISTANCE RATING
- · · · · 1 HOUR FIRE RESISTANCE RATING
- · - · - 1.5 HOUR FIRE RESISTANCE RATING
- · - · - 2 HOUR FIRE RESISTANCE RATING
- - - - - TRAVEL DISTANCE
- △ DOORS VIA AUTOMATIC DOOR OPERATORS
- △ BARREER FREE PUSH BUTTON
- △ FLOOR DRAB
- △ FF D FLOOR FLOOR DRAIN
- △ CO CLEAN OUT
- △ RD ROOF DRAIN
- △ RWL RAIN WATER LEADER
- △ FEX FIRE EXTINGUISHER
- △ REC FIRE EXTINGUISHER IN CABINET, RECESSED
- △ P5-0 NEW PAINTED PAVEMENT MARKINGS
- △ REFER TO SITE SURVEY AND GRAPHICS DETAILS

ROOM SCHEDULE

ROOM NAME	NUMBER
WAREHOUSE	M100
ENTRY SCREENING ASSOCIATE	M101
ENTRY	M103
RESTROOM WOMEN'S	M105
STOR	M105B
LOBBY	M107
RESTROOM MEN'S	M107
STOR	M107B
FIRE PUMP	M108
TRASH ROOM	M109
LOCKERS	M110
AMAZON	M111
LOCKERS	M112
CIRCULATION	M114
CIRCULATION	M115
KEY STORAGE	M116
AMAZON TRUS	M119
MULTI-PUR	M120
LOBBY	M121
RECEPTION	M122
RESTROOM WOMEN'S	M123
JANITOR	M124
MOTHER'S ROOM	M126
MOTHER'S ROOM	M126
OFFICE	M128
SCREENER/PACKING AREA	M129
ENT	M130
RECEIVE	M131
PLUMBING	M132
RECEIVE	M133
SCREENER/PACKING AREA	M134

FLOOR PLAN KEYNOTE LEGEND

NUMBER	KEYNOTE
1002	PROVIDE 4" HIGH CAST-IN-PLACE CONCRETE HOUSEKEEPING PAD COORDINATE WITH OTHER DISCIPLINES
1005	INFILL EXISTING DOOR OPENING TO MATCH EXISTING ASSEMBLY INFILL ASSEMBLY SHOULD BE FINISH ON WAREHOUSE SIDE
1008	PROVIDE 4" HIGH STAINLESS STEEL CORNER GUARD WHERE INDICATED
1009	NEW AWAKENING PERFORATIONS IN EXISTING WALL BETWEEN OFFICE AND WAREHOUSE AS A RESULT OF MECHANICAL REMOVALS SHALL BE PATCHED AND REFINISHED TO MATCH ADJACENT ASSEMBLIES
1013	NEW DOCK LEVELER PER OWNER STANDARDS. COORDINATE WITH STRUCTURAL
1020	NEW CONCRETE FLOOR SLAB REFER TO STRUCTURAL
1022	DEMISING WALL BETWEEN OFFICE AND WAREHOUSE TO BE CONCRETE FLOOR TO UNDERSIDE OF STRUCTURE ABOVE INCLUDING INSULATION AND GYPSUM WALLBOARD BOTH SIDES
1038	PROVIDE CROWN JOIST REFER TO FINISH PLANS
1040	EXISTING STRUCTURAL COLUMN TO REMAIN

AECOM

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DFX4 - Victorville, CA
15272 Bear Valley Road

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NO	DATE	ISSUED FOR PERMIT	DESCRIPTION

PROJECT NUMBER
60633050

SHEET TITLE
OVERALL FLOOR PLAN - EXISTING AND NEW

SHEET NUMBER
A1.10

NOT FOR CONSTRUCTION



PROJECT
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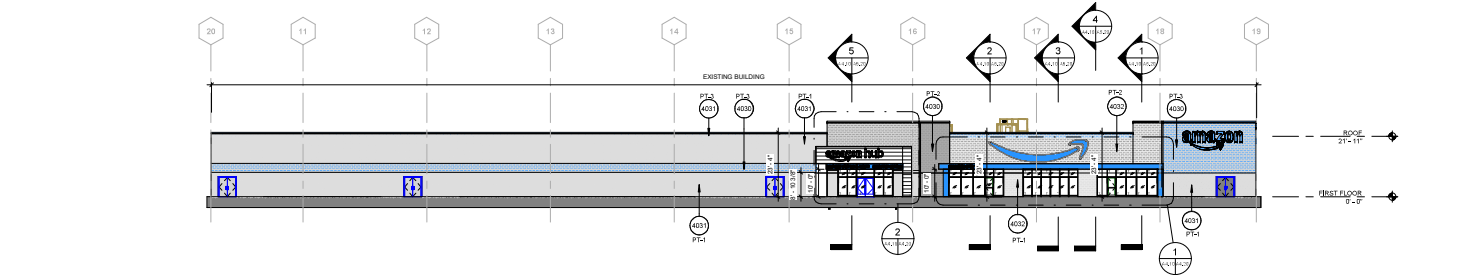
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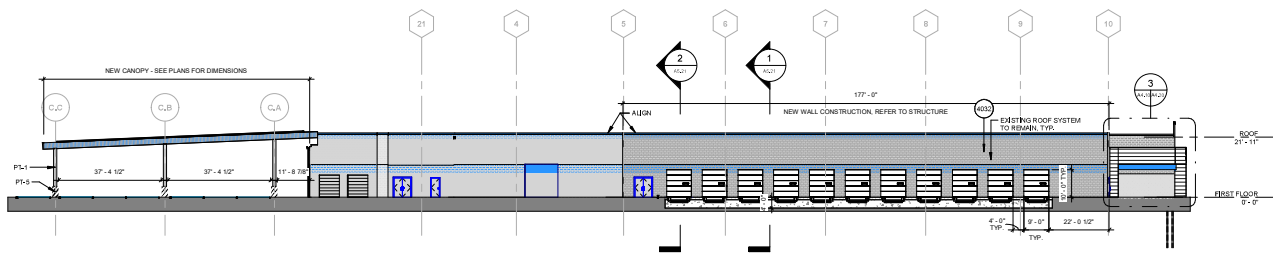
PROJECT NUMBER
 60633050
SHEET TITLE
 BUILDING ELEVATIONS

SHEET NUMBER
 A4.10

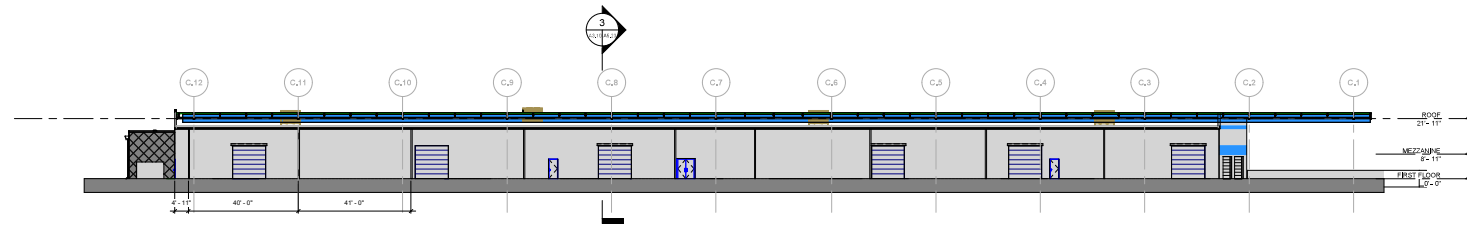
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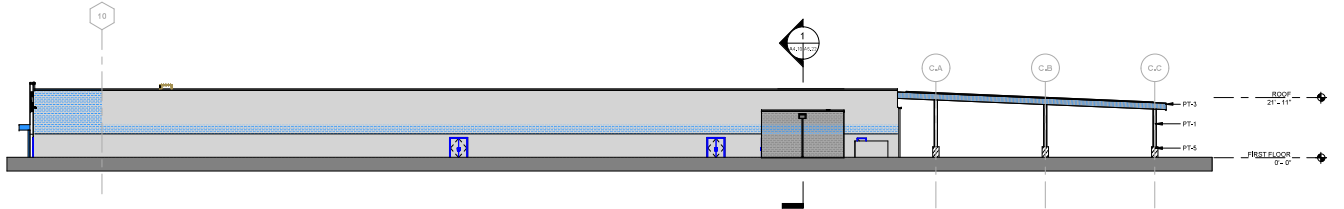
1 PROPOSED-SOUTH ELEVATION
 3/64" = 1'-0"



2 PROPOSED-WEST ELEVATION
 3/64" = 1'-0"



3 PROPOSED-NORTH ELEVATION
 3/64" = 1'-0"



4 PROPOSED-EAST ELEVATION
 3/64" = 1'-0"

- ELEVATION GENERAL NOTES:**
- FOR DEMOLITION OR REMOVALS REFER TO DEMOLITION DRAWINGS, UNO.
 - WHERE EXISTING EXTERIOR WALL MOUNTED ELECTRICAL FIXTURES ARE TO BE REMOVED AND NOT REPLACED WITH NEW, ALL SCHEDULE COVER PLATE PAINTED TO MATCH EXISTING ADJACENT SHALL BE INSTALLED.
 - SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATIONS AND WINDOW TYPES.
 - ALL NEW STOREFRONTS, NEW OVERHEAD DOORS, NEW WALK DOORS TO BE INSULATED, UNO.
 - ALL REVEE/INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS U-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INSURANCE AGENCY, LABELED BY THE NFRC. SEE CODE ANALYSIS 01.10 FOR VALUES.
 - REVISE AND COORDINATE WINDOW LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL, CHECK WITH FP ENGINEER.
 - ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNO.
 - CHANGE IN PAINT COLOR OCCURS AT TOP OF SMOOTH FACE OR COURSE, TYP. UNO.
 - ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP. SEE DOOR SCHEDULE.
 - PAINT ALL SPES OF BOFFIT P.T.A.
 - REFER TO ALL GAUGH DESIGN GUIDELINES FOR ADDITIONAL INFORMATION.
 - REFER TO SHEET A4.12 & A4.13 FOR STORAGE AND DRAWINGS.

ELEVATION KEYNOTE LEGEND

NUMBER	KEYNOTE
4000	EXISTING SMOOTH FACE CMU WALL TO REMAIN
4001	EXISTING SPILT FACE CMU WALL TO REMAIN
4002	PROPOSE SMOOTH FACE CMU WALL

EXTERIOR COLOR OR LEGEND

MARK	DESCRIPTION	REMARKS
PT-1	ANODIZED ALUMINUM STOREFRONT SYSTEM	REFER TO WINDOW SCHEDULE
PT-1	SW 7063	EXTERIOR FIELD COLOR
PT-2	SW 7066	EXTERIOR ACCENT COLOR
PT-3	GRAY MATTER	ACCENT COLOR
PT-4	ANALOX PRIME BLUE TO MATCH PAINTONE	EXTERIOR ACCENT COLOR
PT-5	MANUL STANDARD 2000C	EXTERIOR FIELD COLOR
PT-6	MANUL STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOR
PT-7	CONCRETE	COLUMN BASE AND COLUMN PROTECTION
PT-8	YELLOW BLACK	DIAGONAL STRIPES

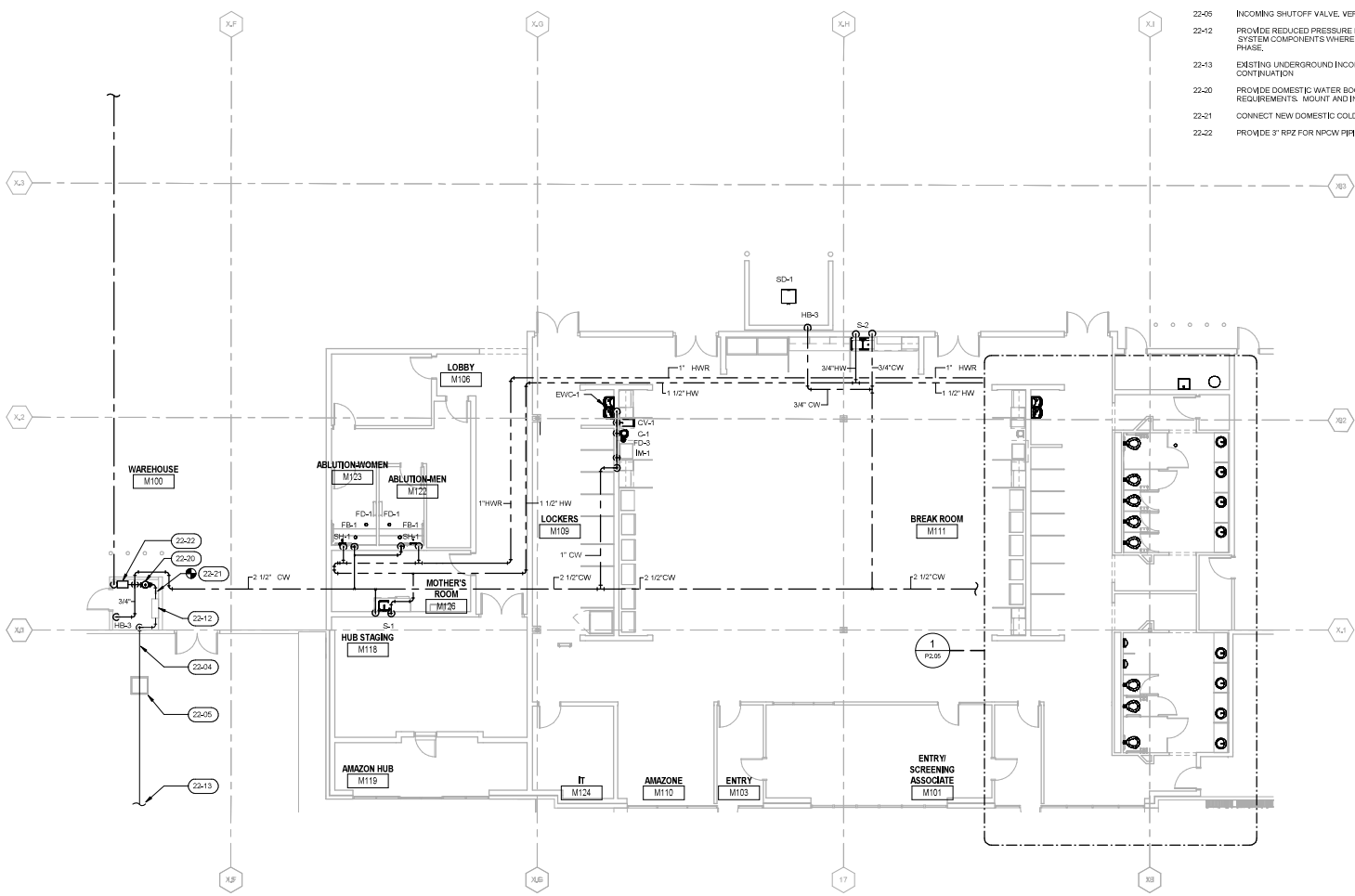
NOTE:
 SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO SPECIFICATIONS SECTION 09 OR FINISH SCHEDULE REFER TO CRITERIA FOR MORE INFORMATION.
 EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS, ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MOORE, OR PPG.
LEGEND:
 T TEMPERED GLAZING PER DESIGN CRITERIA
 CJ CONTROL JAMB



NO.	DATE	DESCRIPTION

KEYNOTES

- 22-04 EXISTING UNDERGROUND INCOMING WATER LINE. IF THE EXISTING INCOMING WATER SERVICE LINE WAS DEEMED INADEQUATE FOR PROPOSED END USE PER DRAWING P1.01, INSTALL A NEW INCOMING SERVICE WHICH MEETS ALL PROGRAM REQUIREMENTS.
- 22-05 INCOMING SHUTOFF VALVE. VERIFY EXACT LOCATION IN FIELD.
- 22-12 PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER AND ALL INCOMING WATER SYSTEM COMPONENTS WHERE THESE ITEMS WERE REMOVED DURING DEMOLITION PHASE.
- 22-13 EXISTING UNDERGROUND INCOMING WATER SERVICE. REFER TO CIVIL FOR CONTINUATION.
- 22-20 PROVIDE DOMESTIC WATER BOOSTER PUMP. REFER TO SCHEDULE ON P3.01 FOR PUMP REQUIREMENTS. MOUNT AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 22-21 CONNECT NEW DOMESTIC COLD WATER PIPE TO EXISTING PIPING.
- 22-22 PROVIDE 3" RPZ FOR MPCW PIPING SERVING HOSE BIBBS.



1 PLUMBING - NEW FLOOR ENLARGED PART PLAN - CW & HW
1/8" = 1'-0"

07 PLUMBING-NEW FLOOR ENLARGED PART PLAN - CW & HW
 Designer: Designer Checked: Checker Approved: Approver PROJECT 2018.03.14

User: P:\proj\15272\BIM\DWG\15272-BIM-DWG-PLUMBING-NEW FLOOR ENLARGED PART PLAN - CW & HW.dwg
 Plot Date: 10/23/2020 11:11:15 AM
 Plot Name: 15272-BIM-DWG-PLUMBING-NEW FLOOR ENLARGED PART PLAN - CW & HW.dwg

PLANTING NOTES

PLANTING GENERAL NOTES:

- 1) ALL PROPERTY, EASEMENT, VEHICLE CLEARANCES, AND LIMIT OF WORK LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- 2) ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LOCAL CODES AND ORDINANCES.
- 3) CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH OWNER'S REPRESENTATIVE, SITE SUPERINTENDENT, APPROPRIATE AGENCIES AND CONSTRUCTION DOCUMENTATION TO DETERMINE THE LOCATIONS OF ALL EXISTING, PROPOSED AND ABANDONED UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR TO IDENTIFY CONFLICTS WITH THE LANDSCAPE WORK IF THEY EXIST AND BRING TO THE ATTENTION OF AUTHORIZED OWNERS REPRESENTATIVE FOR RESOLUTION.
- 4) PLANTING OPERATIONS ARE TO BE COORDINATED WITH SEASONAL CONDITIONS. DO NOT INSTALL PLANT MATERIAL IN CONDITIONS WHERE THE SITE IS EXCESSIVELY HOT OR IN FREEZING CONDITIONS.
- 5) CONTRACTOR IS TO PROTECT ALL DELIVERED PLANT MATERIAL FROM WEATHER CONDITIONS AND OTHER CONSTRUCTION ACTIVITIES.
- 6) ALL PLANT MATERIAL IS TO BE PLANTED WITHIN 2 WEEKS OF DELIVERY TO SITE. THE STORAGE OF PLANT MATERIAL IS TO BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE BEFORE SOLENT AND STORAGE MATERIAL. CONTRACTOR IS TO SUBMIT TO MAINTENANCE, PROTECTION PLAN, AND OTHER MEASURES THAT ASSURES THAT PLANT MATERIAL IN STORAGE WILL BE HEALTHY AT TIME OF INSTALLATION.
- 7) CONTRACTOR IS TO SUBMIT A SCHEDULE OF PLANTING OPERATIONS WITH IDENTIFICATION OF SUBMITTALS, INSPECTIONS, DELIVERY OF PLANT MATERIAL AND ESTIMATED TIME OF MAINTENANCE AND ESTABLISHMENT.

LANDSCAPE:

- 1) PLANT MATERIAL LOCATIONS SHOWN ARE DIAGNOSTIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT BLOCK WINDOWS, SIGN NOR IMPAIR ACCESS, UTILITY LOCATIONS.
- 2) PLANT TREES 3"-0" MINIMUM FROM FACE OF CURB AND FROM EDGES OF PAVING. ALL TREES WITHIN 5' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. SEE LINEAR ROOT BARRIER DETAIL 24" DEPTH. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 3) IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOW WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE SUCH MATERIALS. CONTRACTOR TO VERIFY EXACT QUANTITIES OF PLANT MATERIAL NECESSARY.
- 4) CONTRACTOR MUST REVIEW ALL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION AND MAINTAIN THE FOLLOWING CLEARANCE FOR ALL TREE PLANTINGS, NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.
 - FIRE HYDRANTS AND PYS: 5' MINIMUM
 - LIGHTPOLES: 10' MINIMUM
 - BUILDINGS: 15' MINIMUM

SITE PREPARATION:

- 1) CONTRACTOR TO CONFIRM SOURCE OF TOPSOIL FOR ALL PLANTING BEDS EITHER FROM ACCEPTABLE STOCKPILE, EXISTING GRADE OR IMPORT. ALL SOILS INTENDED TO BE USED ARE TO BE TESTED AND VERIFIED SUITABLE. REFER TO ADDITIONAL REQUIREMENTS AS NOTED UNDER PLANTING SOILS.
- 2) THE PLANTING AREAS ARE TO BE GRADED IN ACCORDANCE TO CIVIL DRAWINGS AND ALL PLANTING BEDS ARE SLOPED TO DRAIN. NO AREA OF THE PLANTING IS TO BE FLAT AND WILL POOL. ALL DRAINAGE SWALES AND STRUCTURES ARE NOT TO BE IMPACTED BY PLANTING.
- 3) ALL OVER EXCAVATION REQUIRED TO MEET PLANTING SPECIFICATIONS SHALL BE DONE PRIOR TO PAVING, IF PAVING WILL CONFLICT WITH EXCAVATION OF PLANTING PITS.
- 4) GRADES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING OF PLANT MATERIALS. PERFORM FINE GRADING IN ALL PLANTING AREAS AND COORDINATE FINISH GRADE TO ALLOW MUDS AS INDICATED IN SPECIFICATIONS.
- 5) PRIOR TO PREPARATION OF THE PLANTING OPERATIONS, ALL PLANTING AREAS TO RECEIVE HERBICIDE TREATMENT OR ACCEPTABLE ORGANIC TREATMENT FOR WEED CONTROL. THE METHOD AND APPLICATION RATES PER REGULATIONS OF FEDERAL, STATE, LOCAL, JURISDICTION.

PLANTING MATERIALS:

- 1) CONTRACTOR IS RESPONSIBLE TO ORDER ADEQUATE QUANTITIES OF PLANT MATERIALS TO FILL PLANTING BEDS IN ACCORDANCE TO DESIGNATED SPACING SHOWN IN DRAWINGS.
- 2) ALL REPRESENTATIVE SAMPLES OF PLANT MATERIALS SHALL BE INSPECTED AT THE SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE AND MEET THE FOLLOWING STANDARDS:
 - a) QUALITY AND SIZE SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD OF NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF HORTICULTURISTS
 - b) USE ONLY NURSERY-GROWN STOCK AND PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED BY STATE OR FEDERAL AGENCIES.
 - c) PLANT MATERIALS WILL NOT BE ACCEPTED THAT ARE OVERGROWN, ROOT-BOUND, OR TOO RECENTLY CANNED SO THAT THE ROOT SYSTEM IS NOT THOROUGHLY ESTABLISHED THROUGHOUT THE CAL. PRUNING SHALL NOT BE DONE PRIOR TO DELIVERY EXCEPT AS AUTHORIZED BY OWNER'S REPRESENTATIVE.

PLANTING SOILS:

- 1) ALL EXISTING AND PROPOSED SOILS ARE TO BE TESTED FOR VERIFICATION AND DEVELOPMENT OF STANDARDS FOR AMENDING. THIS INCLUDES STOCKPILE AND IMPORT.
- 2) SOIL AMENDMENTS TO BE APPLIED AT RATES IN ACCORDANCE TO SOIL TESTING FOR PLANTING BED AND PLANTING PIT PREPARATION.
- 3) SOIL AMENDMENT IN ALL PLANTING AREAS SHALL BE UNIFORMLY SPREAD THOROUGHLY INCORPORATED TO A SOIL DEPTH OF 10" MINIMUM BY REPEATED ROTARY HOE.

CULTIVATION PRIOR TO PLANTING:

- 1) CONTRACTOR TO USE ENVIRONMENTAL ORGANIC AMENDMENTS FOR PREPARATION AND MAINTENANCE OF PLANTING AREAS.

PLANTING:

- 1) CONTRACTOR TO STAKE THE LOCATION OF TREES AND LARGER SHRUB MATERIAL FOR APPROVAL BEFORE INSTALLATION. DIMENSIONS FOR PLACEMENT AND LAYOUT OF PLANT MATERIALS SHOWN ON DRAWINGS ARE APPROXIMATE. LAYOUT OF PLANT MATERIALS SHALL BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF PLANT MATERIALS.
- 2) DG PITS AS SHOWN ON DRAWINGS.
- 3) PERCOLATION TESTS: PROVIDE 1 TREE PIT PERCOLATION TEST FOR EVERY FIVE TREES. LOCATION OF PERCOLATION OF TESTS ARE TO BE UNIFORMLY PROVIDED THROUGH SITE. TESTING TO BE PROVIDED IN CLUSTERS OF TREE INSTALLATIONS. CONTRACTOR TO NOT PROVIDE TREE PIT PERCOLATION TESTS FOR TREES INSTALLED IN BIO-FILTRATION PLANTINGS. ALL TREE LOCATIONS SHALL HAVE SUFFICIENT DRAINAGE PRIOR TO PLANTING. IF THE PLANTING PITS FAIL TO DRAIN BRING TO OWNERS AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IF REQUIRED ADDITIONAL TREE PIT TESTING IN A SITE LOCATION MAY BE NECESSARY TO ADDRESS SITE CONDITIONS. ADDITIONAL TESTING BEFORE THE INITIAL REQUIRED TESTS WILL BE PROVIDED AT NO ADDITIONAL COST TO PROJECT. ONCE ANY ADJUSTMENTS TO TREE PIT TO IMPROVE PERMEABILITY CONTRACTOR TO RETEST FOR VERIFICATION.
- 3) AFTER PITS ARE DUG, AND PERCOLATION TESTS COMPLETE, BREAK SIDES AND BOTTOM OF HOLES TO OPEN WALL OF PIT FOR ROOT PENETRATION.
- 4) PLANTING BACKFILL MIX WITH AMENDED SOILS AS OUTLINED IN SOILS TEST.
- 5) PLANT ROOTBALL CROWN SHALL BE 2" ABOVE FINISH GRADE AFTER WATERING AND SETTLING.
- 6) PLANTINGS SHALL BE WATERED AND FLOODED TO ELIMINATE AIR POCKETS WITHIN 2 HOURS OF THE TIME OF PLANTING.

MULCHING:

- 1) AFTER PLANTING IS COMPLETE, FURNISH AND SPREAD MULCH OVER ENTIRE PLANTED AREAS, EXCLUDING LAWN, WITH A 3 INCH MINIMUM DEPTH OF CRUSHED STONE MULCH IF NO FINES, TAN TO BROWN IN COLOR. CONTRACTOR TO SUBMIT 3 DIFFERENT SAMPLES FOR INITIAL SELECTION.

PLANTING MAINTENANCE AND ESTABLISHMENT:

- 1) MAINTENANCE PERIOD MAY NOT BEGIN UNTIL ALL SPECIFIED MATERIALS ARE INSTALLED.
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANT ESTABLISHMENT ON THE ENTIRE SITE FOR THE DURATION OF THE CONTRACT AND PLANT ESTABLISHMENT PERIOD, AS INDICATED IN THE SPECIFICATION, INCLUDING, BUT NOT LIMITED TO, ALL WATERING, MOWING, EDGING, TRIMMING, PRUNING, WEEDING, FERTILIZING, AND KEEPING ALL PLANT MATERIAL (BOTH EXISTING AND NEW) IN HEALTHY GROWING CONDITIONS AND NEAT AND ATTRACTIVE IN APPEARANCE, REPLACE ALL DEAD AND/OR DAMAGED PLANT MATERIAL ON A WEEKLY BASIS.
- 3) NO PRE-EMERGENCE HERBICIDES SHALL BE APPLIED DURING MAINTENANCE AND ESTABLISHMENT PERIOD ONLY HAND REMOVAL OF WEEDS WILL BE ALLOWED.
- 4) FERTILIZATION DURING MAINTENANCE AND ESTABLISHMENT PERIOD WILL USE ORGANIC MATERIALS TREATMENTS ONLY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INTEGRATED PEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED.
- 5) CONTRACTOR TO SUBMIT TO OWNERS AUTHORIZED REPRESENTATIVE A MAINTENANCE PLAN AS DESCRIBED UNDER SPECIFICATION FOR LANDSCAPE MAINTENANCE.

CLEANUP:

- 1) AT THE END OF EACH WORKDAY, AT THE INSPECTION FOR SUBSTANTIAL COMPLETION AND BEFORE ACCEPTANCE OF PROJECT, CLEAN PAVED AREAS THAT ARE DIRTIED OR STAINED BY CONSTRUCTION OPERATIONS, BY SWEEPING OR WASHING, AND REMOVE DETACHMENTS AND STAINS, REMOVE CONSTRUCTION EQUIPMENT, EXCESS MATERIALS, AND TOOLS. HAIL THE DEBRIS RESULTING FROM CONSTRUCTION FROM OWNERS PROPERTY, AND DISPOSE OF LEGALLY. REMOVE REMAINING TEMPORARY PROTECTION AT THE END OF ACCEPTANCE BY OWNER UNLESS OTHERWISE AGREED.
- 2) ONCE MAINTENANCE AND ESTABLISHMENT PERIOD IS OVER THE PLANTING WILL BE INSPECTED BY OWNERS AUTHORIZED REPRESENTATIVE WHO WILL PROVIDE FINAL APPROVAL OF COMPLETION. ONCE FINAL ACCEPTANCE IS MADE THE CONTRACTOR IS TO REMOVE ALL EQUIPMENT AND TEMPORARY SERVICES INCLUDING ISOLATION FROM SITE WITHOUT DAMAGING PLANT MATERIAL. ANY MATERIAL DAMAGED BY CONTRACTOR AS PART OF THEIR DEMOBILIZATION WILL BE REPLACED AT NO ADDITIONAL COST AND WILL NOT BE CONSIDERED AS PART OF PLANTING WARRANTY.

PLANTING LEGEND

TREES

SYMBOL	ABBRV.	LATIN NAME	COMMON NAME	QUANTITY	DIA X HT (FT)	SIZE	SPACING	DETAILS	NOTES
	PC	Prosopis chilensis	CHILEAN MESQUITE	21	30 X 30	36" BOX	AS SHOWN	1/L1.20	
	PD	Parkinsonia x 'Desert Museum'	DESERT MUSEUM PALO VERDE	5	20 X 20	24" BOX	AS SHOWN	1/L1.20	
	CL	Chilopsis linearis	DESERT WILLOW	38	15 X 15	24" BOX	AS SHOWN	1/L1.20	

SHRUB, GRASS AND GROUND COVER

SYMBOL	LATIN NAME	COMMON NAME	QUANTITY	DIA X HT (FT)	SIZE	SPACING	DETAILS	NOTES
	AB	Agave 'Blue Flame'	BLUE FLAME AGAVE	49	3 X 2.5	5 GAL.	3.5' O.C., TRIANGULAR SPACING	3/L1.20
	BC	Baccharis pilularis 'centennial'	CENTENNIAL COYOTE BRUSH	305	4 X 4	5 GAL.	5' O.C., TRIANGULAR SPACING	3/L1.20
	HP	Hesperaloe parviflora 'Brakeblights'	BRAKEBLIGHTS YUCCA	44	2.5 X 2.5	5 GAL.	3' O.C., TRIANGULAR SPACING	3/L1.20
	MD	Muhlenbergia dubia	PINE MUHLY	1666	2 X 2	1 GAL.	2.5' O.C., TRIANGULAR SPACING	3/L1.20
	MR	Muhlenbergia rigens	DEERGRASS	366	4 X 4	5 GAL.	5' O.C., TRIANGULAR SPACING	3/L1.20
	SA	Sphaeralcea ambigua	DESERT GLOBEMALLOW	91	3 X 3	5 GAL.		

NOTES: PLANT AREA AND OVERALL QUANTITY OF EACH PLANT TYPE ARE SHOWN ON THE PLANTING SCHEDULE FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES. ALL AREAS TO BE DENSELY PLANTED PER SPACING IN PLANTING SCHEDULES.

SOIL DEPTHS SCHEDULE

CATEGORY	SOIL DEPTHS
TREE PIT	36" MIN OR EQUAL TO DEPTH OF ROOTBALL FOR TREES DEEPER THAN 36"
SHRUB, GRASS AND GROUND COVER	24"
BIORETENTION	SEE CIVIL DRAWINGS

NOTES: SOIL SHALL BE IMPORTED OR RECONDITIONED PER DETAILS 1/ L121 AND 2/ L121 RESPECTIVELY. RECONDITIONED SOIL IS BASED UPON THE EXISTING PLANTING BED WHICH IS UNDISTURBED BY CONSTRUCTION.



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT

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REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT IN THE STATE OF CALIFORNIA

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DIR	DATE	DESCRIPTION

KEY PLAN



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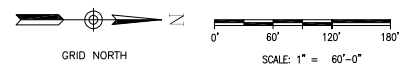
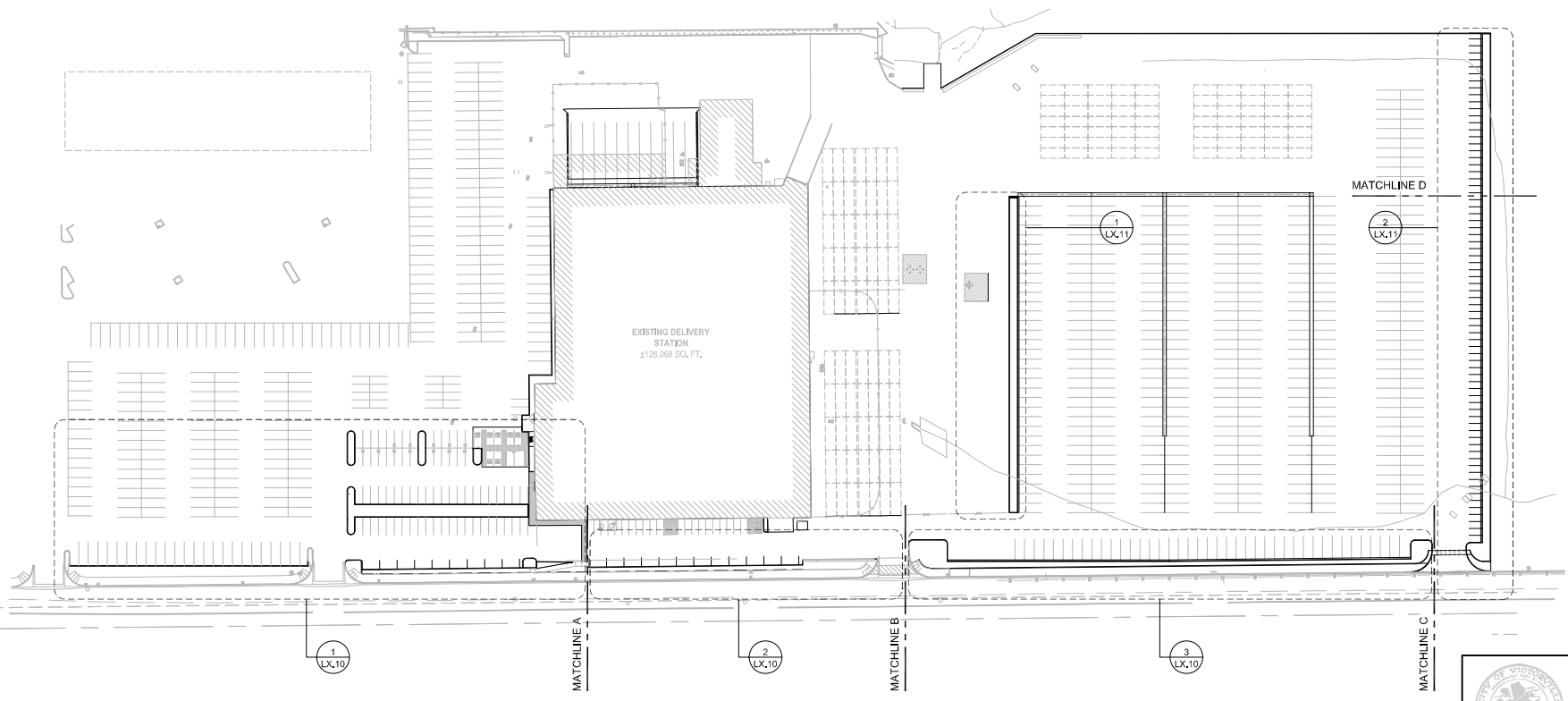
Approved By:
 Brian W. Gauder, RDE CA4293
 City Engineer

DATE: _____

PROJECT NUMBER
60633050
SHEET TITLE
LANDSCAPE NOTES AND PLANTING LEGEND

SHEET NUMBER
L.01

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Project Management/Title: Designer: Checked: Approved: ARCH 12.24.20



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ENGINEERING DEPARTMENT
14343 Civic Drive, Victorville, CA 92382 (760) 955-0000

Approved By: Brian W. Gauder, RSE CA4730
City Engineer

DATE: _____



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

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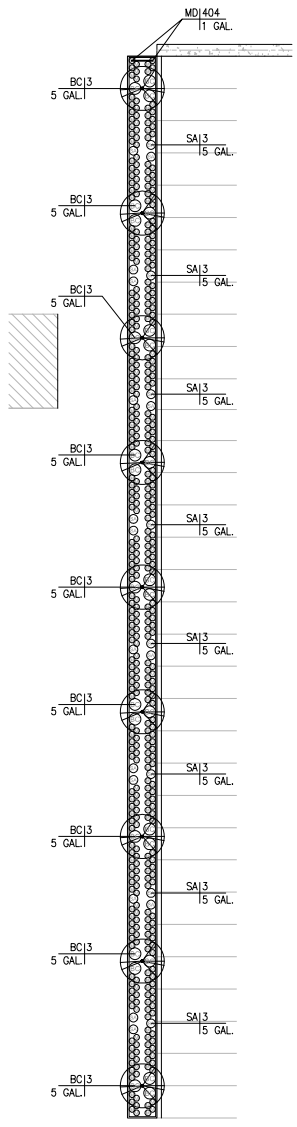
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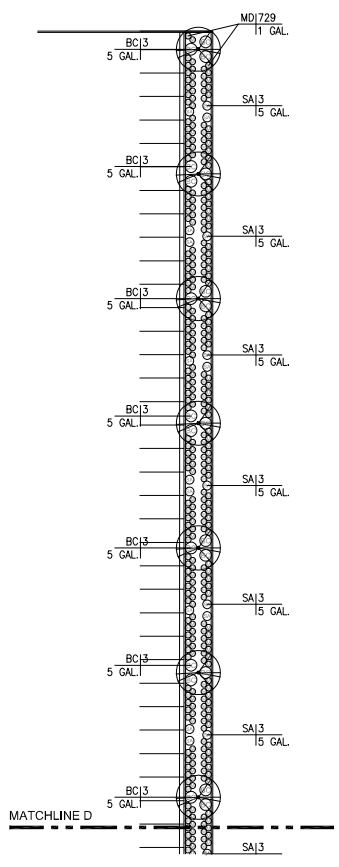
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LANDSCAPE REFERENCE PLAN

SHEET NUMBER
L0.03

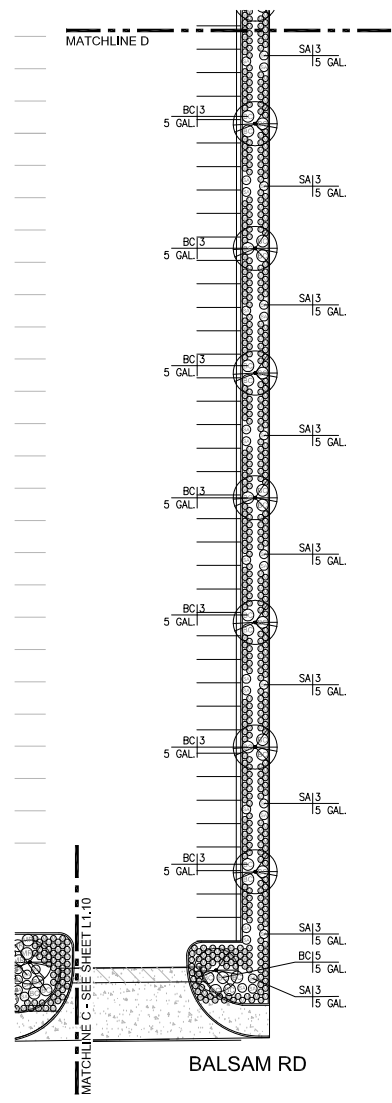
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 Approved:
 Checked:
 Designer:
 Project Management/Bills:



1 PLANTING ENLARGEMENT 04
SCALE: 1"=20'-0"

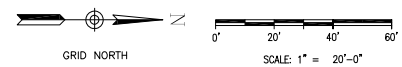


2 PLANTING ENLARGEMENT 05
SCALE: 1"=20'-0"



SCALE: 1"=20'-0"

NOTES:
1. FOR PLANTING NOTES AND LEGEND SEE SHEET L001.



PROJECT
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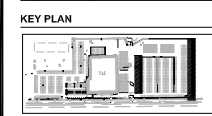
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PROJECT NUMBER
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SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L1.11

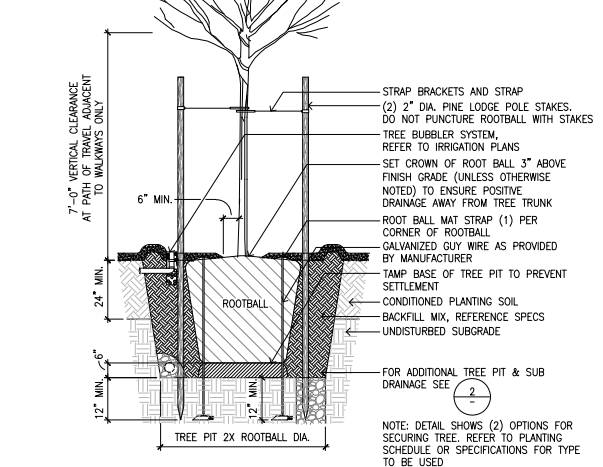
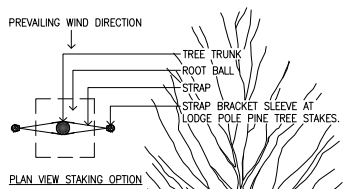
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ENGINEERING DEPARTMENT
14343 Civic Drive, Victorville, CA 92382 (760) 955-0000

Approved By: Edwin W. Gauder, RSE CA4730
City Engineer

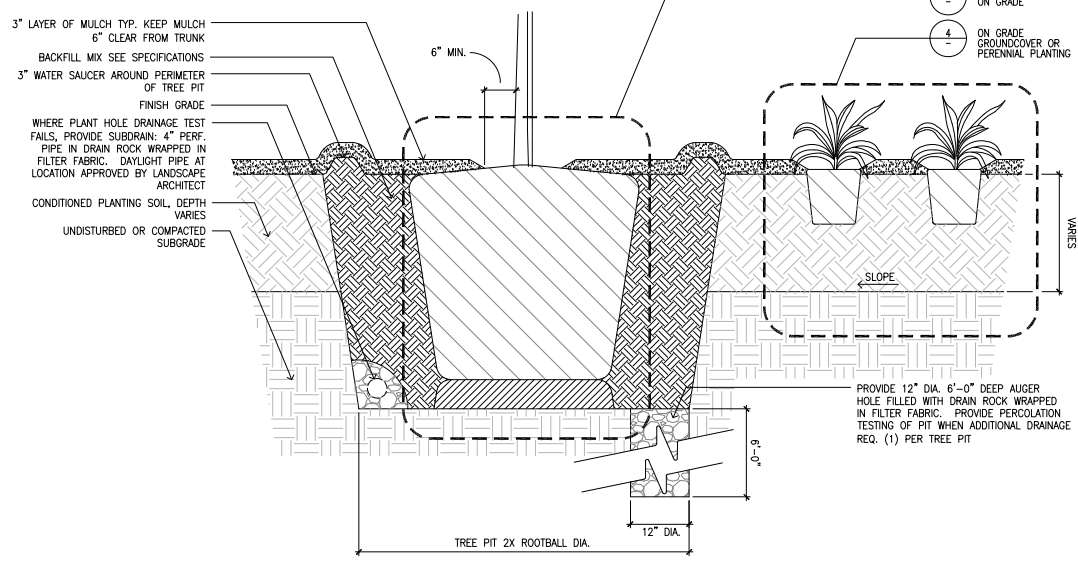
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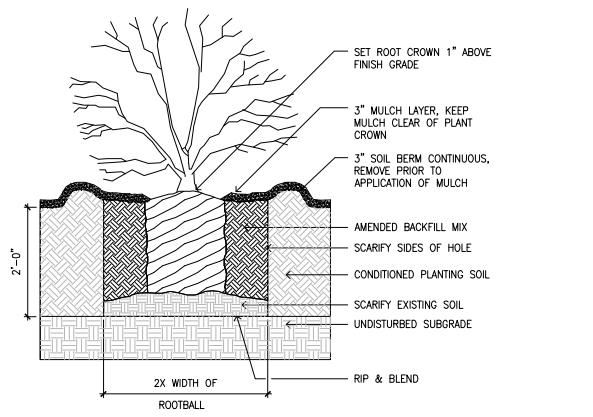
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 Project Management: Billie
 Designer:
 Checker:
 Approver:
 ARCH: 12' x 30'



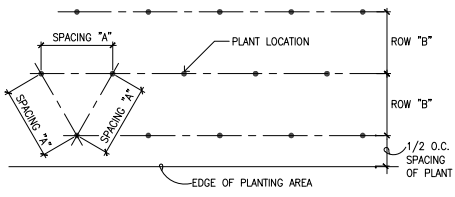
1 TREE PLANTING AND STAKING
SCALE: 1/2"=1'-0"



2 PLANTING ON GRADE
SCALE: 1/2"=1'-0"



3 SHRUB PLANTING
SCALE: 1"=1'-0"



SPACING "A"	ROW SPACING "B"
4" O.C.	3 1/2" O.C.
6" O.C.	5 1/4" O.C.
8" O.C.	6 7/8" O.C.
10" O.C.	8 5/8" O.C.
12" O.C.	10 3/8" O.C.
15" O.C.	13" O.C.
18" O.C.	15 5/8" O.C.
24" O.C.	20 3/4" O.C.
30" O.C.	26" O.C.
36" O.C.	30" O.C.

4 PLANT SPACING
SCALE: 3"=1'-0"



PROJECT
DFX4 - Victorville, CA

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KEY PLAN



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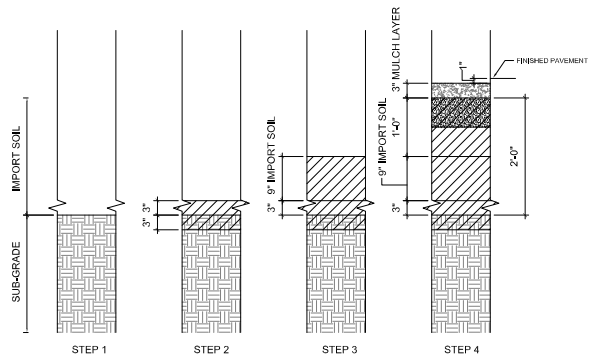
Approved By:
Bryan W. Gaudin, RSE CA4739
City Engineer

DATE

PROJECT NUMBER
60633050

SHEET TITLE
PLANTING DETAILS

SHEET NUMBER
L1.20



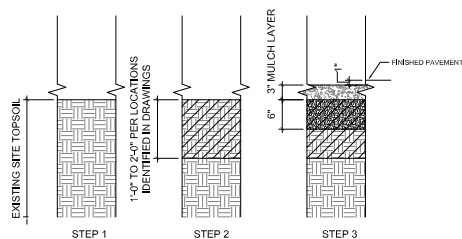
- STEP 1: REMOVE EXISTING SOIL TO PROPOSED ELEVATION PER ROUGH GRADE PER CIVIL GRADING MINUS DEPTH OF SPECIFIED IMPORT PLANTING SOIL, MULCH LAYER, AND 1 INCH.
- STEP 2: PLACE 3" LAYER OF IMPORT TOPSOIL AND ROTOTILL INTO THE EXISTING SUB-GRADE SOIL 6" DEEP TO BREAK SOIL INTERFACE.
- STEP 3: SPREAD 9" OF IMPORT TOPSOIL.
- STEP 4: PLACE SOIL, AMEND AND FERTILIZE PER SPECIFICATIONS OR RECOMMENDATIONS FROM SOILS REPORT AND ROTOTILL 6 INCHES DEEP.

NOTES:

- ROTOTILL AT EACH STEP TO 6" MIN. DEPTH
- SEE SOILS PREPARATION PLANS FOR SOIL DEPTH LOCATIONS.
- PREPARED SOILS DURING EACH LIFT AND FINAL INSTALLATION SHALL HAVE A COMPACTION RATE RANGE OF 75% TO 85% STANDARD PROCTOR.

1 PLANTING SOIL PROFILE 24" IMPORT SOIL

SCALE: 1"=1'-0"



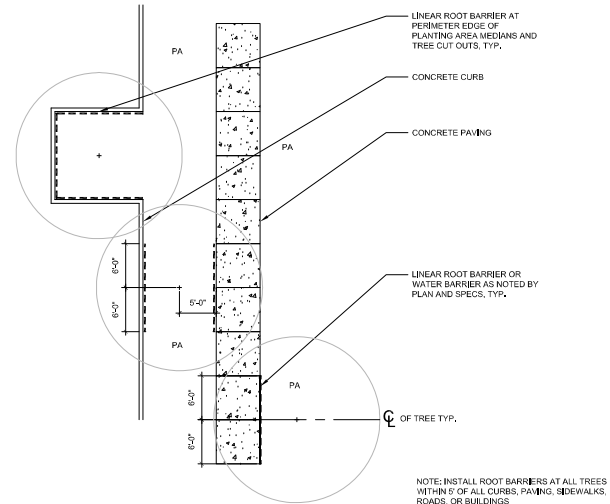
- STEP 1: ADJUST EXISTING SOIL TO PROPOSED ELEVATION PER ROUGH GRADE PER CIVIL GRADING MINUS 4" ADJACENT TO PAVEMENT EDGES, ASSURE THAT SUB-GRADE IS AT COMPACTION RANGE OF 75% TO 85% STANDARD PROCTOR AND PROVIDES PERCOLATION.
- STEP 2: REMOVE ALL DEBRIS INCLUDING STUMPS, STICKS, ROOTS, AND ROCKS BIGGER THAN 1". ONCE REVIEWED AND APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE. VERIFY POSITIVE DRAINAGE, SCARIFY EXISTING SOILS TO MAINTAIN A COMPACTION RANGE OF 75% TO 85% TO A DEPTH OF 14" TO 24" PER SOIL PREPARATION DEPTHS SHOWN ON DRAWINGS.
- STEP 3: AMEND AND FERTILIZE PER SPECIFICATIONS OR RECOMMENDATIONS FROM SOILS REPORT AND ROTOTILL 6".

NOTES:

- PLANTING PREPARATION OF NATIVE SITE SOIL IS BASED ON ACCEPTANCE FROM OWNERS AUTHORIZED REPRESENTATIVE WITH VERIFICATION OF PLANTING SUITABILITY FROM SOIL TESTING AND REQUIREMENTS AS STATED IN SPECIFICATIONS. SOILS NOT SUITABLE FOR PLANTING WILL BE REMOVED AND REPLACED WITH IMPORT SOIL SUITABLE FOR PLANTING.
- SEE SOILS PREPARATION PLANS FOR SOIL DEPTH LOCATIONS.
- PREPARED SOILS DURING EACH LIFT AND FINAL INSTALLATION SHALL HAVE A COMPACTION RATE RANGE OF 75% TO 85% STANDARD PROCTOR.

2 RESTORATION OF EXISTING PLANTING SOIL

SCALE: 1"=1'-0"



3 LINEAR ROOT BARRIER

SCALE: 1/8"=1'-0"



PROJECT
DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT

AECOM
1255 Broad St, Suite 201
Clifton, NJ 07013, USA
973 883 8500 tel
www.aecom.com

THE DRAWING HAS BEEN PREPARED FOR THE USE OF AECOM CLIENTS AND MAY NOT BE USED, REPRODUCED OR IN ANY MANNER, WITHOUT THE WRITTEN PERMISSION OF AECOM. AECOM SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CLIENT ACCEPTS RESPONSIBILITY FOR CHECKING THE ACCURACY OF THE DATA PROVIDED TO AECOM FOR THE PREPARATION OF THIS DOCUMENT.

VERIFY SCALE: THE DOCUMENT ALL MEASUREMENTS MUST BE OBTAINED FROM THE DRAWING.

NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE QUALITY OF THE SOILS AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET
2	10/13/2020	100% PERMIT SET
LR		DESCRIPTION

KEY PLAN

PROJECT NUMBER
60633050
SHEET TITLE
PLANTING DETAILS

SHEET NUMBER
L1,21

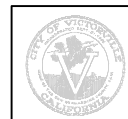
CITY CASE NO.

CITY OF VICTORVILLE
ENGINEERING DEPARTMENT

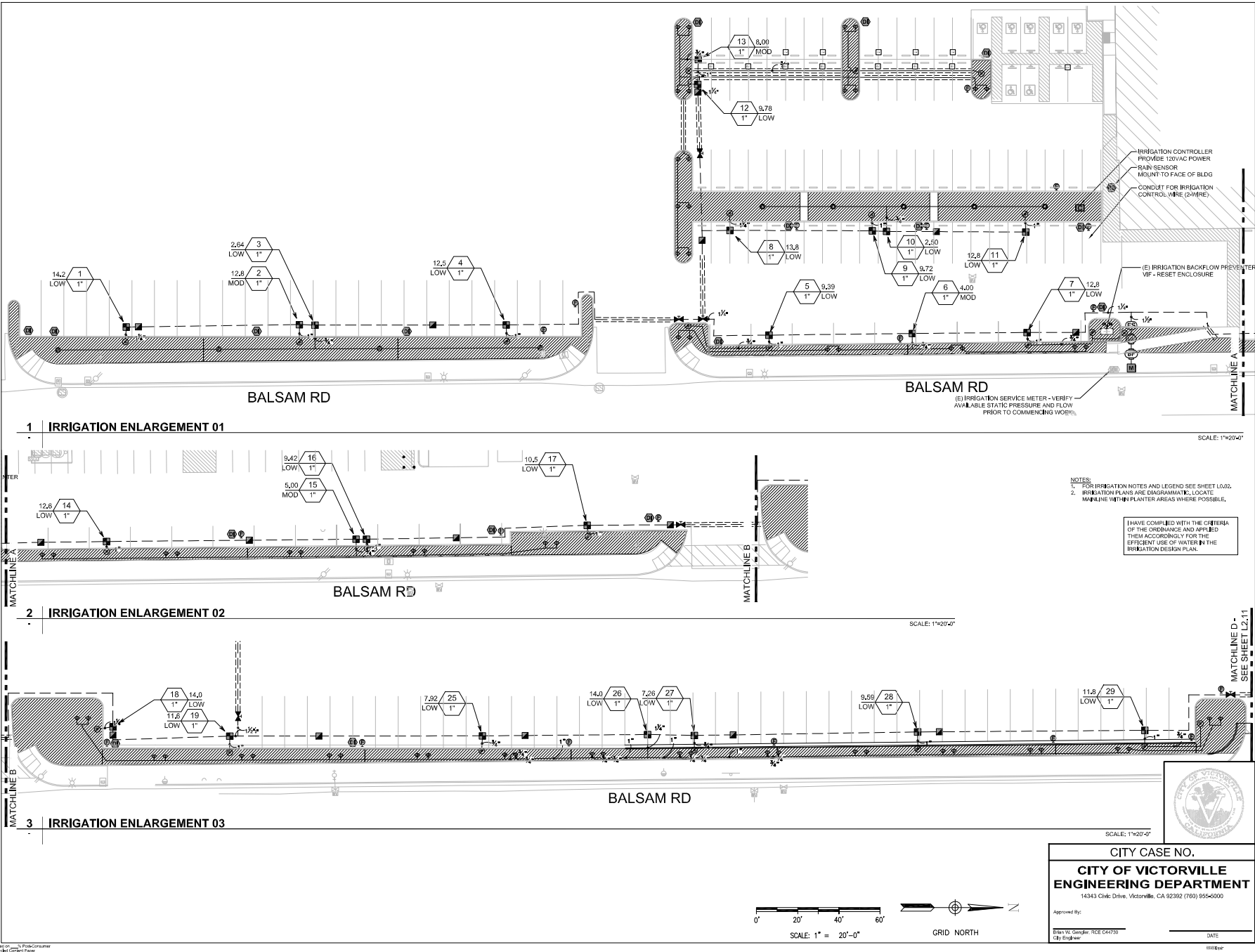
14343 Civic Drive, Victorville, CA 92392 (760) 955-0000

Approved By: Brian W. Gauder, RSE CA4293
City Engineer

DATE: _____



Dec 01, 2020 - 5:25pm
 C:\Users\shormek\OneDrive - AECOM\Directory\60633050_DFX-4\900_CAD_GIS\912_Landscape Arch\Sheets\L210.dwg
 Project Management: Bala...
 Designer:
 Checker:
 Approver:
 ARCH: 12"x18"



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
 Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
 973 883 8500 tel
 www.aecom.com

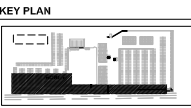
THE DRAWING HAS BEEN PREPARED FOR THE USE OF AUTOMATICALLY GENERATED PERMITS AND IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CONSULTANT. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWING OR FOR ANY CONSEQUENCES ARISING THEREFROM. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING.

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET



PROJECT NUMBER
 60633050

SHEET TITLE
 IRRIGATION PLAN - SOUTH

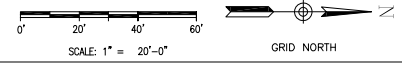
SHEET NUMBER
 L2.10

CITY CASE NO.
 14343 Civic Drive, Victorville, CA 92382 (760) 955-0000

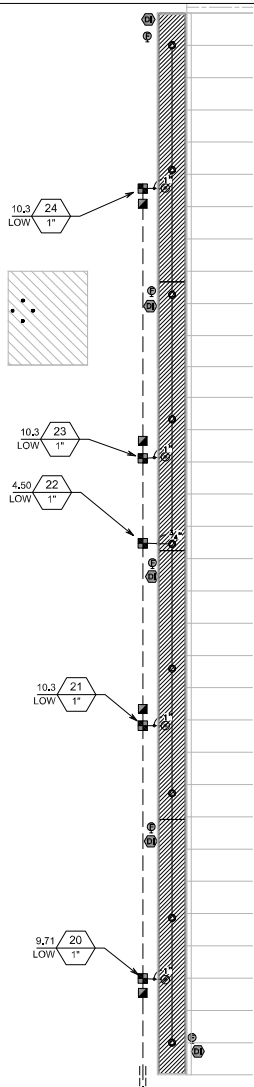
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT

Approved By:
 Brian W. Gander, RSE CA4739
 City Engineer

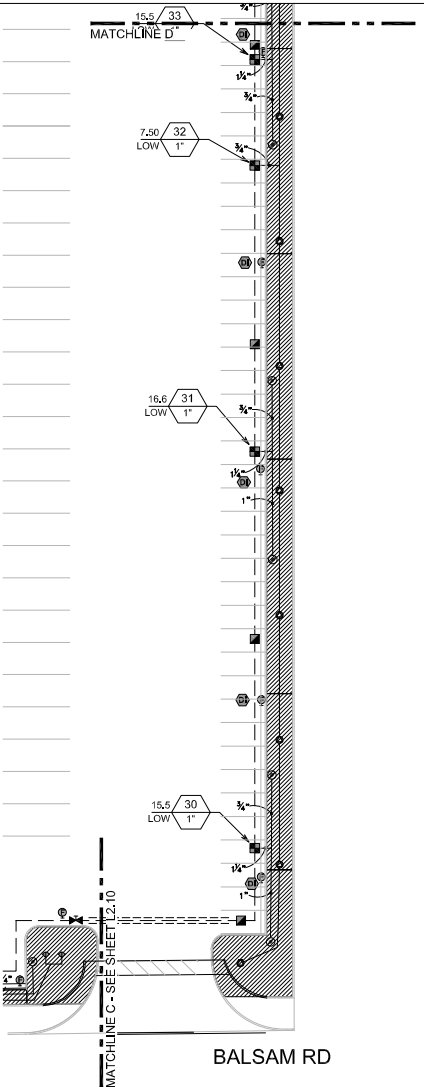
DATE: _____



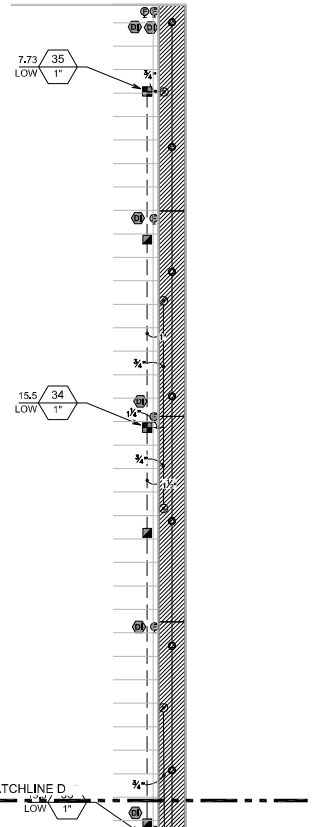
Dec 01, 2020 - 5:27pm
 C:\Users\sharmak\OneDrive - AECOM\Directory\60633050_DFX-4\900_CAD_GIS\912_Landscape Arch\Sheets\L21LONG
 Project Management: Billie
 Designer:
 Checker:
 Approver:
 ARCH 12, 24" x 36"



1 | IRRIGATION ENLARGEMENT 04
 SCALE: 1"=20'-0"



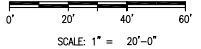
2 | IRRIGATION ENLARGEMENT 05
 SCALE: 1"=20'-0"



SCALE: 1"=20'-0"

- NOTES:**
 1. FOR IRRIGATION NOTES AND LEGEND SEE SHEET L2.02.
 2. IRRIGATION PLANS ARE DIAGRAMMATIC; LOCATE MAINLINE WITHIN PLANTER AREAS WHERE POSSIBLE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.



CITY CASE NO.
CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
 14343 Civic Drive, Victorville, CA 92382 (760) 955-0000

Approved By: Ben W. Gauder, RSE CA4350
 City Engineer

DATE: _____



PROJECT
 DFX4 - Victorville, CA

15272 Bear Valley Road
Victorville, CA 92395

CLIENT

CONSULTANT
 AECOM
 1255 Broad St, Suite 201
 Clifton, NJ 07013, USA
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 www.aecom.com

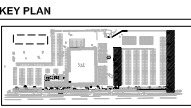
NO WARRANTY IS MADE BY AECOM FOR THE USE OF ANY DESIGN OR INFORMATION PROVIDED HEREIN. AECOM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF ANY DESIGN OR INFORMATION PROVIDED HEREIN. THE USER OF ANY DESIGN OR INFORMATION PROVIDED HEREIN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. AECOM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF ANY DESIGN OR INFORMATION PROVIDED HEREIN. THE USER OF ANY DESIGN OR INFORMATION PROVIDED HEREIN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
1	12/01/2020	100% PERMIT SET R1
2	10/13/2020	100% PERMIT SET



PROJECT NUMBER
 60633050
SHEET TITLE
 IRRIGATION PLAN - NORTH

SHEET NUMBER
 L2.11

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ATTACHMENT B

PROJECT DFX4 – OPERATIONAL NARRATIVE / AS OF AUGUST 25, 2020

The Tenant for Project DFX4 is focused on being the most customer centric company in the world. This facility, a “Delivery Station” specializes in delivery of customer orders, which power the last mile of their customer order process and help speed-up deliveries for customers. Their growth in Victorville, CA is the result of an outstanding workforce, strong local support, and incredible customers. Their associates and customers in this region are also your residents, and we want to ensure they are being good neighbors.

Employment

Delivery stations create hundreds of mostly full time and part time jobs. The Tenant provides all associates at least \$15.00 per hour in wages, and a variety of benefits packages from day one. Full time associates receive benefits including medical, dental and vision insurance, 401k match, and life and disability insurance – the same benefits as our senior executives. Part time opportunities are great for parents seeking flexibility in schedule, college students, those seeking second jobs, and retirees.

Three types of jobs are available in delivery stations:

1. Sortation – These associates are directly employed by the Tenant. They help with sorting packages inside the delivery station.
2. Delivery Service Partners (DSP) – DSPs are entrepreneurs who have launched their own small business delivering packages on behalf of the Tenant. DSPs operate out of the Tenant’s delivery stations and employ delivery van drivers who deliver the Tenant’s packages. They adhere to the \$15.00 per hour wage requirement for their employees.
3. Managers – Managers are employed by the Tenant for managing the sortation process, and by DSP owners for managing the delivery process.

DSP drivers and Tenant Flex drivers generally handle delivery to customers from delivery stations. Tenant Flex is an innovative service where independent contractors can be their own boss and create their own schedules delivering packages on behalf of the Tenant.

Delivery Service Partner (DSP) Program

The DSP program helps entrepreneurs build their own businesses delivering the Tenant’s packages in their local communities. The Tenant takes an active role helping interested entrepreneurs start and manage their delivery business. DSPs get delivery volume from the Tenant, access to the company’s sophisticated delivery technology and discounts on a suite of assets and services including discounted vehicle leases and comprehensive insurance to keep startup costs low.

Tenant Flex Program

Launched in 2015, Tenant Flex is an innovative program that gives independent contractors the opportunity to be their own boss while delivering for the Tenant. Flex partners use their own vehicles and set their own schedule via the Tenant's Flex app (available on Android and iOS devices), freeing up time to pursue their goals and dreams, such as finishing school, building a business or spending time with their family. On average, Tenant Flex drivers earn more than \$22 per hour.

Tenant Operations

Delivery stations power the last mile of the Tenant's order fulfillment process and help speed up deliveries for customers. Packages are transported to delivery stations via trailer trucks (18 wheelers) from neighboring Tenant fulfillment and sortation centers and are sorted, picked and loaded into delivery vehicles.

Delivery stations operate 24/7 to support delivery of packages to at customer locations between 10:00 AM and 9:00 PM. At their proposed Victorville, CA facility, the Tenant anticipates approximately Eighteen (18) line haul trucks delivering packages to the delivery station each day, in any 24 hour period. The customer packages are unloaded, sorted, picked to the delivery routes, placed onto movable racks and staged for dispatch. Approximately 150 Tenant associates (in total) support this operation with the majority of the associate shift structure designed between 1:30 AM and 12:30 PM (approximately 105 at those times) that mitigates traffic impact during rush hour periods. The additional 45 Tenant associates arrive and depart between 1:00 PM and 10:00 PM that make up additional support of operations.

The DSP delivery associates arrive at a delivery station at 8:30 AM. Starting at 9:00 AM and ending at 11:00 AM, approximately 200 delivery vans will load and depart from the delivery station at an average rate of 50 vans every 30 minutes to facilitate a regulated traffic flow into the surrounding area. Meaning, the first wave of 50 delivery vans depart the station at 9:00 AM. The departure window is designed to mitigate impact on rush hour periods. Approximately 8-10 hours after dispatch, delivery routes are completed and the vans return to the station between 7:00 PM and 9:00 PM. The drivers park the delivery van onsite and leave using a personal vehicle or public transport.

The Tenant will also use Tenant Flex to deliver packages from this location. Tenant Flex works in concert with an advanced logistics systems and technology that the Tenant has been building since day one. The Tenant anticipates approximately 50 traditional passenger vehicles entering the facility staggered between 4:00 PM and 5:00 PM. Flex vehicles will load and depart every 20 minutes.

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ATTACHMENT C

TRAFFIC ASSESSMENT

Date: October 12, 2020

To: Anwar Wagdy, City of Victorville Engineering Department

From: BenJetta Johnson, PE (benijetta.johnson@NV5.com)
Victoria Guobaitis, T.E., PTOE (victoria.guobaitis@NV5.com)

Re: Proposed Delivery Station
15272 Bear Valley Road
Victorville, CA 92395

NV5 has prepared the traffic assessment of a proposed distribution warehouse facility at the Bear Valley Plaza Shopping Center. The vacant retail center is located along Bear Valley Road at the intersection of Balsam Avenue. The proposed delivery station would occupy a 126,395 square foot building previously utilized as a Walmart retail store. The facility would include designated onsite parking facilities and loading areas to fit an end-tenant operations plan. Current access to the shopping center includes an entrance on Bear Valley Road, and three entrances on Balsam Avenue.

Pre-Existing Conditions

Traffic projections for the former Walmart retail store have been prepared utilizing data published in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition. Trips were calculated utilizing ITE Land Use Code 820: "Shopping Center"; resulting in 7,050 daily, 89 AM and 388 PM peak trips. It should be noted that the PM peak hour trips reflect pass-by trip reductions. Walmart provides a wide variety of consumer goods, with operating hours that extend from early morning to midnight. Traffic generated by the store is not concentrated to peak hour periods; but well-distributed throughout the day. A copy of the ITE trip generation data is provided in Attachment A.

Proposed Conditions

The proposed end-tenant has provided a traffic schedule for the delivery station facility which provides detailed shift and vehicle classification data. This schedule was examined to determine whether the use of ITE trip generation methodology is appropriate for the site. ITE does not have a specific land use code for a delivery station and trip estimates for other warehouse/distribution uses generate fewer daily and peak hour trips. The proposed delivery station has specific operations plans such that vehicle trips to the facility may not coincide with the adjacent roadway peak hours of traffic. Tractor-trailers will bring goods to the site and unload primarily during overnight and early morning hours. Items arriving by tractor trailer go out for delivery to consumers the same day. Managers and warehouse employees work at the site each day, staggered over multiple shifts. Delivery personnel arrive at the site in their personal vehicles, exchange them for a fleet vehicle (van) parked onsite, load packages from designated staging and loading areas; and leave the site to make deliveries over an eight- to ten-hour period. Delivery personnel return from their deliveries, drop off their van, then leave the site for the day in their personal vehicle. Additional independent drivers arrive at the site for loading and use their own personal vehicles to make deliveries, without returning to the site. An hourly breakdown of the daily projected trips to/from the facility is provided in Attachment B.

The delivery station is expected to generate 541 daily, 1 AM and 35 PM peak trips during normal operations. It should be noted that the proposed delivery station will experience peak seasonal operations from mid-November through the Christmas holiday season. During the peak season operations, the delivery station is expected to generate 1,275 daily, 72 AM and 169 PM peak trips. These trips will be made up of a combination of passenger cars, vans, and tractor trailers. An adjustment factor of 2.5 was applied to trucks to convert these trips to a passenger car equivalent; resulting in 569 daily, 3 AM and 35 PM peak hour trips during normal operations and 1,343 daily, 75 AM and 172 PM peak hour trips during peak seasonal operations.

Trip Generation Comparison

The table below provides the comparative trip generation for the former retail store and proposed delivery station during normal and peak seasonal operations.

Table 1: Pre-Existing and Proposed Trips Comparison

Condition	Land Use	ITE Code	Size	Trips ¹		
				Daily	AM Peak	PM Peak
Pre-Existing	Walmart	820 – Shopping Center	126,395 SF	7,050	89	388
Proposed	Delivery Station (Normal Operations)	N/A - User Data ²	126,395 SF	569	3	35
	Delivery Station (Peak Operations)	N/A - User Data ²	126,395 SF	1,343	75	172

¹ Passenger Car Equivalent Trips; Adjustment factor for 3-axle trucks = 2.5 Passenger Cars

² Proposed End-Tenant Traffic Schedule

During normal operations, the proposed delivery station will generate significantly less traffic throughout the day and in the peak hours compared to the former Walmart retail store. During peak season operations, the delivery station will also generate fewer daily and peak hour trips compared to the former Walmart retail store.

Conclusions

The proposed delivery station would occupy a 126,395 square foot building at the Bear Valley Plaza Shopping Center previously utilized as a Walmart retail store. During normal and peak seasonal operations, the proposed delivery station will generate significantly fewer daily and peak hour trips compared to the former use. Since the daily trips and resulting vehicle-miles traveled (VMT) generated by the proposed delivery station will be less than the former use, no California Environmental Quality Act (CEQA) VMT Analysis will be required. The conversion of the Walmart retail store to the proposed distribution warehouse facility will not have an adverse impact on traffic in the surrounding area.

Attachment A: Traffic Schedule

Shopping Center (820)

Based upon methodology from ITE's Trip Generation, 10th Edition (2017)

Project Land Use	Project Density	Project Trips			ITE Code	Variable	Equation Used ¹	In/Out Distribution		
		Total	Inbound	Outbound						
Shopping Center	126,395 SF	Daily	7,050	3,525	3,525	820	1,000 SF	$\ln(T) = 0.68\ln(X) + 5.57$ $T_{AM} = 0.50(X) + 151.78$ $\ln(T_{PM}) = 0.74\ln(X) + 2.89$ $\ln(T) = 0.62\ln(X) + 6.24$ $\ln(T) = 0.79\ln(X) + 2.79$	50%	50%
		AM Peak Hour	215	133	82				62%	38%
		PM Peak Hour	646	310	336				48%	52%
		Saturday Daily	10,306	5,153	5,153				50%	50%
		Saturday Peak Hour (of generator)	745	387	358				52%	48%
Reductions for Pass-By Trips	40%	Daily	0	0	0					
		AM Peak Hour	0	0	0					
		PM Peak Hour	-258	-124	-134					
		Saturday Daily	0	0	0					
		Saturday Peak Hour	-298	-155	-143					
TOTAL PROJECT TRIPS		Daily	7,050	3,525	3,525					
		AM Peak Hour	215	133	82					
		PM Peak Hour	388	186	202					
		Saturday Daily	10,306	5,153	5,153					
		Saturday Peak Hour	447	232	215					

Attachment B: Traffic Schedule

Time	Autos			Trucks			Vans			Total		
	In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total
00:00	0	0	0	0	0	0	0	0	0	0	0	0
01:00	41	0	41	1	0	1	0	0	0	42	0	42
02:00	0	0	0	0	1	1	0	0	0	0	1	1
03:00	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	1	1	2	0	0	0	1	1	2
05:00	13	0	13	0	0	0	0	0	0	13	0	13
06:00	0	0	0	1	0	1	0	0	0	1	0	1
07:00	0	0	0	0	1	1	0	0	0	0	1	1
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08:00	0	0	0	0	0	0	0	0	0	0	0	0
08:30	0	0	0	0	0	0	0	0	0	0	0	0
09:00	45	0	45	1	0	1	0	0	0	46	0	46
10:00	32	0	32	0	1	1	0	86	86	32	87	119
11:00	2	0	2	0	0	0	0	0	0	2	0	2
12:00	0	41	41	0	0	0	0	0	0	0	41	41
13:00	22	0	22	0	0	0	0	0	0	22	0	22
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15:00	0	0	0	0	0	0	0	0	0	0	0	0
16:00	23	0	23	0	0	0	0	0	0	23	0	23
16:30	0	12	12	0	0	0	0	0	0	0	12	12
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17:30	0	0	0	0	0	0	0	0	0	0	0	0
18:00	0	9	9	1	0	1	0	0	0	1	9	10
19:00	0	21	21	0	1	1	47	0	47	47	22	69
20:00	0	51	51	1	0	1	39	0	39	40	51	91
21:00	0	5	5	0	1	1	0	0	0	0	6	6
22:00	0	15	15	1	0	1	0	0	0	1	15	16
23:00	0	0	0	0	1	1	0	0	0	0	1	1
Total	178	178	355	7	7	14	86	86	172	271	271	541

1st Shift:	2:00 AM	12:30 PM	45	Assoc.
2nd Shift:	6:00 AM	2:30 PM	14	Assoc.
3rd Shift:	1:30 PM	10:00 PM	14	Assoc.
PFSD Shift:	2:00 PM	6:00 PM	10	Assoc.
RTS Shift:	12:00 PM	10:30 PM	2	Assoc.
Drivers:	9:20 AM	8:50 PM	86	Drivers

ATTACHMENT D



Date: November 23, 2020

Project: ADMIN 20-096
15272 Bear Valley Road

Reviewer: Gary Koontz
Email: gkoontz@burrtec.com
Phone: (909) 429-4200

Comments
 Approval

Project Description: Construct an Amazon distribution facility

Comments: The Site Plan dated 10/13/20 does not identify any trash enclosures or other waste and recycling facilities. Please identify the location(s) of any proposed trash enclosures. All enclosures should be designed to accommodate at least two standard 4-cubic yard commercial bins, one each for trash and mixed recyclables. Please identify any additional methods of waste and recyclables management including compactors and balers.

Any changes to the overall project design, enclosure specifications or location, or access may adversely impact Burrtec's ability to service the project. Any design modifications that could impact Burrtec's service will be subject to review and approval by Burrtec.

Prior to issuance of grading permits, the developer or their contractor shall contact Burrtec to coordinate the preparation and implementation of a Construction Waste Management Plan.

Burrtec's review of this project is limited to determining whether it meets Burrtec's minimum standards for waste and recycling collection services. Any comments or approvals by Burrtec are limited to these minimum standards as they relate to our equipment and personnel and do not pertain to the project's compliance with applicable federal, state and local land use and environmental laws, building codes or other applicable government regulations. Any approvals by Burrtec do not warrant or represent that Burrtec accepts any liability relative to the performance of waste and recycling collection services within this project.


Gary Koontz, Facility Project Manager

Mojave Desert Air Quality Management District

Brad Poiriez, *Executive Director*

14306 Park Avenue, Victorville, CA 92392-2310

760.245.1661 • Fax 760.245.2022

www.MDAQMD.ca.gov • @MDAQMD



November 23, 2020

City of Victorville
Planning Division
14343 Civic Drive
Victorville, CA 92392

Subject: ADMN20-00096

Dear Planning Division:

The Mojave Desert Air Quality Management District (District) has received the Notice for ADMN20-00096, a Minor Interim Use Permit with an environmental exemption to allow for the establishment of a parcel delivery service within an existing commercial building and a minor site plan to allow for associated site improvements to take place on a c-2 zoned property located at 15272 Bear valley road.

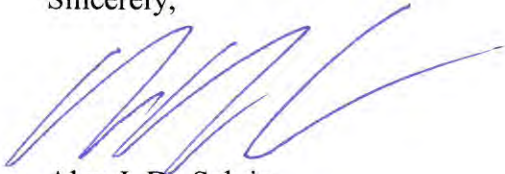
We have reviewed the project and, based on the information available to us at this time, the District has several comments

- A Dust Control Plan will be required for parking lot construction portion of this project. The most current Dust Control Plan Requirements and Dust Control Plan Submission Form are available at <http://mdaqmd.ca.gov/permitting/compliance-forms>.
- Signage compliant with Rule 403 Attachment B shall be erected at each project site entrance not later than the commencement of construction.
- Use a water truck to maintain moist disturbed surfaces and actively spread water during visible dusting episodes to minimize visible fugitive dust emissions. For projects with exposed sand or fines deposits (and for projects that expose such soils through earthmoving), chemical stabilization or covering with a stabilizing layer of gravel will be required to eliminate visible dust/sand from sand/fines deposits.
- Certain demolition portions of the project may require an asbestos survey and notification. Asbestos survey notification information can be located at: <https://www.mdaqmd.ca.gov/permitting/asbestos-information>
- Per MDAQMD and CEQA guidelines this project exceeds significance threshold criteria number 4, potentially exposing sensitive receptors to substantial pollutant concentrations. This project must therefore be evaluated to determine impacts to sensitive receptors using CalEEMod methods (or the equivalent). If the project is deemed to result in a cancer risk greater than or equal to 10 in a million and/or a Hazard Index (HI)(non-cancerous)

greater than or equal to 1, it must incorporate mitigation sufficient to reduce project impacts to a level that is not significant. CEQA guidelines may be located at: <https://www.mdaqmd.ca.gov/home/showpublisheddocument?id=8510>.

Thank you for the opportunity to review this planning document. If you have any questions regarding this letter, please contact me at (760) 245-1661, extension 6726, or Bertrand Gaschot at extension 4020.

Sincerely,



Alan J. De Salvio
Deputy Director – Mojave Desert Operations

AJD/bg

Victorville ADMN20-00096

ATTACHMENT E


CASE: ADMN20-00096



Case Type: Minor Interim Use Permit
& Minor Site Plan
Existing Zoning: C-2 (General Commercial)
Project Area: Approx. 21.5 Acres
Location: 15272 Bear Valley Road
Assessor Parcel Numbers: 3093-271-07
& 3093-291-01

MEMORANDUM



DATE: DECEMBER 16, 2020
TO: ZONING ADMINISTRATOR
FROM: ALEX JAUREGUI
SENIOR PLANNER 

SUBJECT: REVISED CONDITIONS OF APPROVAL FOR CASE NO. ADMN20-00096- A MINOR INTERIM USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE ESTABLISHMENT OF A PARCEL DELIVERY SERVICE WITHIN AN EXISTING COMMERCIAL BUILDING AND A MINOR SITE PLAN TO ALLOW FOR ASSOCIATED SITE IMPROVEMENTS TO TAKE PLACE ON A C-2 ZONED PROPERTY LOCATED AT 15272 BEAR VALLEY ROAD; URBANEST GROUP, INC., APPLICANT

AGENDA ITEM NO. 1

Minor Site Plan Conditions of Approval

After review of the Staff Report and proposed Conditions of Approval, the applicant has requested that conditions relating to locating existing Southern California Edison (SCE) power lines underground be removed due to the submittal of correspondence from SCE (Attachment A) that confirms the subject power lines are over the undergrounding threshold of 34.5 kV. Therefore, Staff finds that Minor Site Plan Conditions 24 & 54 (noted as Conditions 22 & 52 in the SCE correspondence) are no longer necessary and can be omitted if the proposal is approved.

Minor Interim Use Permit Conditions of Approval

After review of the Staff Report and proposed Conditions of Approval, the applicant has requested that Minor Interim Use Permit Condition 1 be revised to reflect proposed operations noted in the tenant's legal documents (Attachment B). Staff does not object to the proposed revisions, which are minor and do not result in changes to the findings noted in the Staff Report. The proposed revision to Minor Interim Use Permit Condition 1 is provided as follows:

"This approval is to allow for the operation of a parcel delivery service with accessory office and customer service area (e.g. package pick-up and return) located at 15272 Bear Valley Road. Facility hours of operation are 24 hours a day seven days a week with general functions as follows:

- Facility Operations - 24 hours a day seven days a week with 1:30AM-12:30PM shift (approximately 105 employees) and a 1PM-10PM shift (approximately 45 employees).
- Delivery Operations - Loading beginning at 8:30AM and waves of approximately ~~50~~ 70 delivery service partner vehicles departing the facility every ~~30~~ 20 minutes between 9AM-11:~~10~~10AM. Delivery service partner vehicle will return between ~~7PM-9:10PM~~ where vehicles are parked on-site. Independent contractors loading/departure from 4:~~30~~30PM-~~56:00~~56:00PM with staggered departure every ~~20~~ 15 minutes.
- Customer Service Operations (In person) – 10AM-9PM daily.

The Zoning Administrator may allow revised hours of operation and accessory or revised services not listed in this approval, providing the primary use does not change and the changes do not

negatively affect the public health, safety, and welfare nor cause nonconformance with the City Council Policy for Interim Uses (CP-11-05).”

Recommendation:

Open the public hearing and proceed with the Staff recommendation noted in the Staff Report, with the exception of omitting Minor Site Plan Conditions 24 & 54 and revising Minor Interim Use Permit Condition 1 as noted herein.

Therefore, this matter is presented for consideration.

Attachments:

Attachment A – SCE Correspondence

Attachment B – Condition Revision Request

ATTACHMENT A



Jennifer Farley
Sr. Right of Way Agent
Vegetation & Land Management
Land Management, Eastern Region

December 11, 2020

City of Victorville
City Planning Department
Attn: Alex Jauregui

SUBJECT: Confirmation of Southern California Edison (SCE) facilities located at 15272 Bear Valley Rd., Victorville / APN: 3093-291-01-0000 & 3093-271-07-0000

Dear Mr. Jauregui:

I hope this letter finds you well.

This letter is in response to the City's request for confirmation of voltage for SCE facilities at the above location.

Planning Condition 22

Prior to the issuance of a building permit, the applicant/developer shall provide verification that the electrical transmission lines traversing the center of the site from east to west are designed for over 34.5 kV nominal. Should these transmission lines be designed for less than 34.5 kV nominal, the applicant shall be required to relocate said transmission line underground unless otherwise waived by the City Engineer or suspended by the Planning Commission with proper application and fee's submitted by the applicant/developer.

SCE response: The electrical transmission lines traversing the center of the site from east to west are 115kV / 115,000 volt electric lines known as the Victor-Savage #1 & #3 to the north and Victor-Savage #2 to the south.

Engineering Condition 52

Pursuant to Section 16-5.12.170 of the City's Municipal Code, the owner/developer must underground the existing above ground utilities along the Balsam Road frontage and the project site if the electrical lines are 34,000 volts or under. The site plan must be revised to show the existing power poles and the required undergrounding.

SCE response: The electrical transmission lines along the Balsam Road frontage is the same Victor-Savage #2 115kV / 115,000 volt electric line.

I hope this information helps to meet the above referenced conditions. Please do not hesitate to let me know if you have any questions, my contact information is below.

Sincerely,



Jennifer Farley

Sr. Right of Way Agent

Vegetation & Land Management | Land Management – Eastern Region

Southern California Edison

Cell: 909-586-1042

jennifer.farley@sce.com

Cc: Tarek Shaer, Urbanest Group
Bruce Palmer, BJ Palmer & Associates, Inc.



2 Innovation Way, 2nd Floor Jennifer Farley
Pomona, CA 91768 Land Services Agent 5
909-274-1600/PAX 61600 Real Properties
Cell: 909-586-1042 Land Management Eastern
jennifer.farley@sce.com

ATTACHMENT B

Alex Jauregui

From: Tarek Shaer <Tarek@UrbanestGroup.com>
Sent: Wednesday, December 16, 2020 8:23 AM
To: Alex Jauregui
Subject: Bear Valley Condition
Attachments: Adjusted Condition 1.docx

Importance: High

[EXTERNAL EMAIL]: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Alex,

In preparing for the hearing today, the tenant reached out alerting me to minor Operational inconsistencies pertaining to some durations in Condition 1 of the Minor IUP that they need to adjust so it complies with their legal documents. I did alert them to the ZA sentence that allows revisions, but they want it adjusted in the condition language. While minor, apparently it is very critical to them.

Would you kindly read in the adjustments at the ZA hearing so the condition is adjusted pursuant to the attached word file language?

Thank you.

tarek shaer
principal

 urbanestgroup
t. 310 508 7354
tarek@urbanestgroup.com

 Please consider the environment before printing this page

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PUBLIC HEARINGS

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SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

SW:cj