

REGULAR MEETING OF THE ZONING ADMINISTRATOR  
OF THE CITY OF VICTORVILLE

MAY 15, 2019  
10:00 A.M.

DEVELOPMENT CONFERENCE ROOM  
14343 CIVIC DRIVE

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATIONS TO PARTICIPATE IN A ZONING ADMINISTRATOR'S MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE DEVELOPMENT DEPARTMENT SECRETARY AT (760) 955-5135 NO LATER THAN SEVENTY-TWO HOURS PRIOR TO THE MEETING

CALL TO ORDER

PUBLIC HEARING

**1. MINOR CONDITIONAL USE PERMIT ADMN19-00037 - MICHAEL MOOS**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE SALE OF USED AUTOMOBILES IN A C-1 NEIGHBORHOOD SERVICE COMMERCIAL ZONED PROPERTY

LOCATION – 16044 BEAR VALLEY ROAD #7

**2. MINOR CONDITIONAL USE PERMIT ADMN19-00038 – L.A. ARCHITECTS**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE INSTALLATION OF A 24-HOUR WALK-UP ATM WITHIN AN EXISTING SUITE FOR BANK OF AMERICA AT AN EXISTING SHOPPING CENTER

LOCATION – 15683 ROY ROGERS DRIVE SUITE 207

**3. MINOR SITE PLAN AND CONDITIONAL USE PERMIT ADMN19-00041 – DELAWIE**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR SITE PLAN AND CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR INTERIOR AND EXTERIOR MODIFICATIONS FOR AN INDUSTRIAL TRADE SCHOOL WITHIN SCLA

LOCATION – 18654 READINESS STREET

PUBLIC COMMENTS

ADJOURNMENT

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# PUBLIC HEARINGS

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# ZONING ADMINISTRATOR STAFF REPORT

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**DATE:** MAY 15, 2019 **AGENDA NO. 1**

**CASE:** ADMN19-00037

**SUBJECT:** A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE SALE OF USED AUTOMOBILES IN A C-1 NEIGHBORHOOD SERVICE COMMERCIAL ZONED PROPERTY

**APPLICANT:** MICHAEL MOOS

**LOCATION:** 16044 BEAR VALLEY ROAD, BUILDING B, SUITE #7

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## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve case ADMN19-00037 subject to the recommended conditions.

## **II. SUMMARY:**

The applicant is requesting approval of this Minor Conditional Use Permit in order to allow for a small retail and wholesale used automobile sales business from one of two buildings at an existing multi-tenant commercial site. The suite is within the two-story office building located at the rear of the property and includes various professional office type uses. The applicant proposes to display one or two vehicles at a time at designated display parking spaces on the site. Prospective buyers will generally be found through the internet and social media rather than from walk-in traffic. The site is in good condition as it was improved a few years ago with upgraded parking, landscaping, perimeter walls, and a new trash enclosure.

## **III. STAFF ANALYSIS:**

### **1. Environmental Assessment.**

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for the permitting of private structures that involve negligible or no expansion of use. Since office uses have previously occupied the suite, and used car sales are conditionally permitted in the underlying C-1 District, Staff finds that this exemption is applicable to this proposal.

### **2. Minor Conditional Use Permit.**

### **Business Operations**

- The used auto sales business will operate Monday through Friday during standard business hours and weekends or after hours by appointment. The Department of Motor Vehicles (DMV) requires two marked parking stalls for this type of DMV license and the applicant will have one to two automobiles on display at any one time. Automobiles purchased at auctions will be reconditioned off-site and no work will be performed on-site, including car washing. For security, the cars may be removed from the site each night. Since the business owner shows a Victorville home address, the use will be prohibited from storing cars at home as indicated within the description. As mentioned, cars will be shown by appointment from clients via the internet and social media.
- Building A is occupied by a church approved under CUP Case ADM16-00010, which operates on Sundays and Wednesday and Friday evenings while other businesses are closed. Therefore the use will be prohibited from operating during those times as to not interfere with the churches operation, i.e. parking, etc.

### **Parking**

- With 10 suites of approximately 5,000 square feet each, Building B requires 25 parking spaces. The church within Building A requires 36 parking spaces whereas a total of 48 off-street parking spaces exist for the entire multi-tenant site. Since the applicant is not proposing hours which conflict with the church, Staff finds the provided parking sufficient to serve the site as proposed. Staff notes, CUP Case ADM16-00029 was for an approved nursing school within Suite #8 of Bldg B. However, the business license has expired, late notices have gone unanswered and phone calls are not answered. Therefore, Staff assumes the school is closed and will not be factored into the parking analysis.
- Because the two requisite marked parking stalls will be used for display, with one additional stall for the business owner and one stall for a customer, the use will be limited for a maximum of two display vehicles on-site at any time. Additionally, one of the marked stalls is shown in front of the church (Bldg A). Staff, will require the marked stalls to be within the back two parking areas, closer to Bldg B as to not interfere with church operations.

### **Site Condition**

- The site was recently upgraded with new parking, landscaping, a new trash enclosure, as well as the installation of a perimeter wall in conjunction with the approval of Minor Site Plan ADM14-00100. Additionally, the site was repainted and generally overhauled in all maintenance areas. Therefore, Staff finds the site in good condition and not in need of any improvement or maintenance at this time.

### **Signage**

- The DMV requires the business to have a minimum 2ft X 2ft sign posted. If the sign above the suite is not large enough, the applicant may utilize a space within the front monument sign to meet this requirement.

### **Required Findings**

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:

- *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
  - Comment: The underlying C-1 (Neighborhood Service) zoning of the property conditionally permits used car facilities. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
- *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
  - Comment: The site has a General Plan designation of Commercial with a Zone District that conditionally allows for the proposed facility. The Land Use Element of the General Plan indicates that commercial uses such as the proposed used auto sales facility “...does not conflict with or adversely affects other existing or potential developments” Therefore, Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity due to its location at the rear of a commercial property.
- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
  - Comment: Since the applicant is planning on a clientele coming to the site by appointment only, the proposal is not anticipated to overload the surrounding street system or include impacts greater than a permitted use would generate during peak hours. Additionally, the site abuts and is accessed via Bear Valley Road, a Super Arterial Roadway, which has the ability to serve any increased traffic in the future.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
  - Comment: The existing site is fully developed, including sufficient parking for the proposed use and recently installed improvements, in accordance with current Municipal Code requirements. Additionally, a used automobile sales facility is listed as a conditional use within the underlying zoning of the site. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Multi-tenant Commercial Building	Commercial	C-1	N/A
North	Vacant	Mixed Density Residential	MDR	N/A
South	City of Hesperia / Bear Valley Road	N/A	N/A	N/A
East	Vacant	Commercial	C-1	N/A
West	Vacant	Commercial	C-1	N/A

**NUMBER OF RADIUS LETTERS MAILED: 21**

MJS

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO  
THE PLANNING COMMISSION WITHIN TEN DAYS.



CONDITIONS OF APPROVAL

ADMN19-00037

May 15, 2019

**Planning Conditions:**

1. This approval shall be valid for a used automobile sales business at 16044 Bear Valley Road, Building B, Suite #7. The operation, as conditioned, would not conflict with the church in Building A. Should a parking issue occur, the Zoning Administrator may work with the user to adjust the operation to ensure parking is not a problem.
2. Any expansion of the proposed use beyond the scope of this conditional use permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
3. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
4. There shall be no work performed on the automobiles on the site, including detailing or washing of the used automobiles.
5. The applicant may not park the used automobiles associated with the business at the business owners residence located within Victorville.
6. The use is prohibited from operating during the following church service times:
  - All day Sunday
  - Wednesday evenings
  - Friday evenings
7. The two required marked stalls for automobile display shall be located at the rear of the property, either in front of Building B, or at the northeast corner of the site.
8. A maximum of two display vehicles are allowed on-site.
9. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. Painted and off-site signs are prohibited and all signs shall be subject to Planning Staff review and approval prior to obtaining a sign permit.
10. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
11. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

April 9th, 2019

## Detailed Business Plan for Boardwalk Motorcars Inc. :

My plan of operation includes offering used vehicles for retail and wholesale via the internet, social media and word of mouth.

I will obtain vehicles from auctions and other dealers via legal platforms and adhere to CA DMV laws in all aspects of buying, reconditioning and selling them via retail or wholesale.

I will conduct all reconditioning through 3rd parties offsite, not at my place of business and therefore will not need additional licensing or facilities for a garage.

I intend to normally only have 1 or 2 vehicles displayed for sales during normal business hours Monday- Friday. Weekends or after-hours by appointment only.

Due to security, I do not intend to leave any vehicles on the premises overnight and do not expect to do so unless <sup>due to</sup> extenuating circumstances such as an emergency.

I expect my business to be conducted by appointment 95% of the time if not more because I do not expect to have more than 5 vehicles in inventory at any time.

I have ample room at my residence and another storage facility to accommodate any vehicles exceeding the 2 parking spaces I need to satisfy the CA DMV requirements for my dealer license.

(The above does not include my personal vehicle or a potential client's) I will be offering some finance options for my clients through lending institutions, and therefore will not have people visiting the premises to make payments on a monthly basis.

I am required to have a minimum 2ft x 2ft signage with my business name at the facility as well as the proper disclosure signs displayed in any rooms I may conduct business in.

The vehicle for sale will also be required to have the correct and applicable disclosures displayed on them at the business.

In conclusion, my goal is to retail 5-10 cars a month with any wholesale

transactions being ancillary and handled offsite.

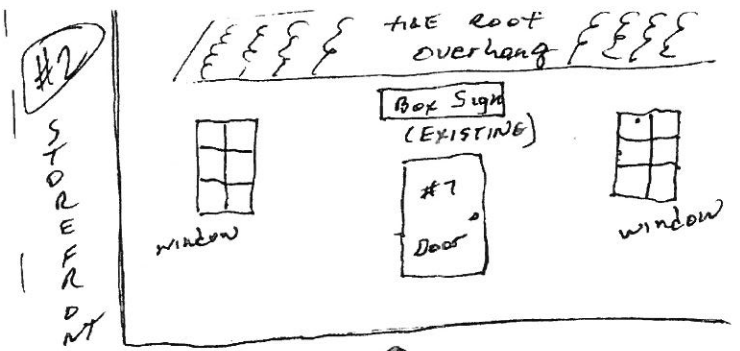
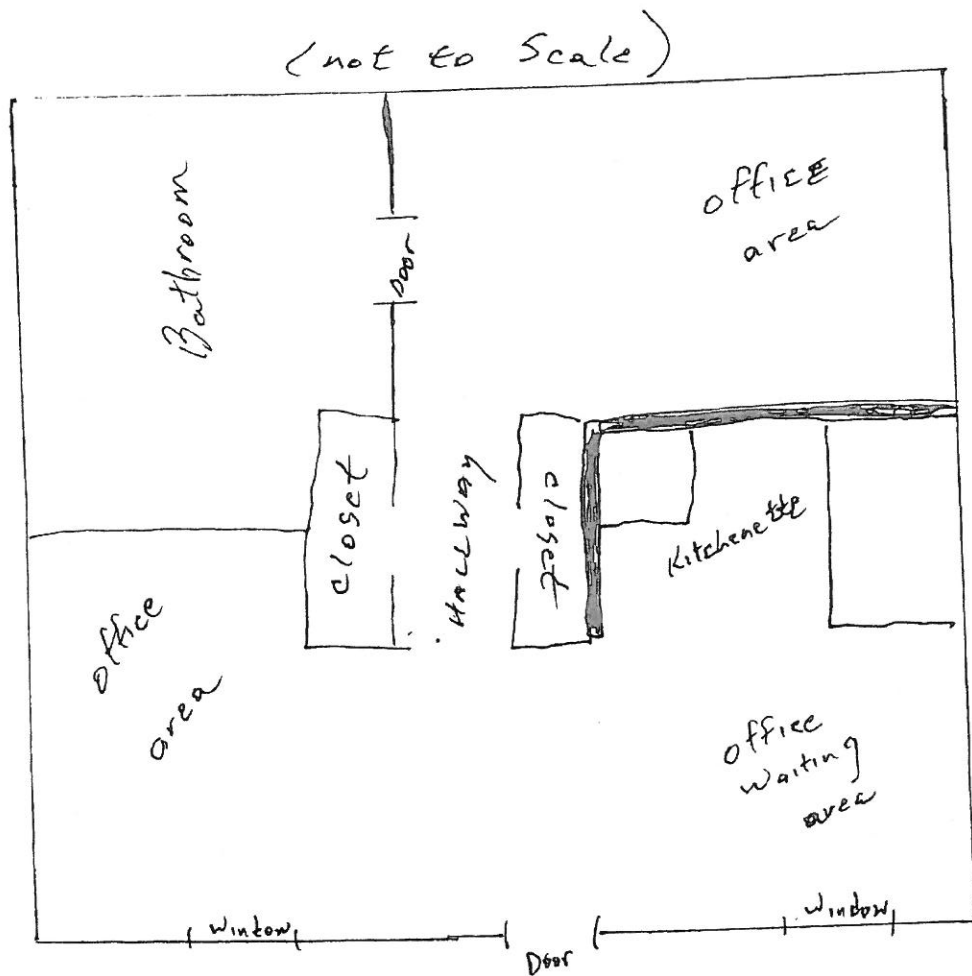
If my business is able to sustain 10 or more cars a month consistently after 12-18 months, I may have to look for a retail location with more exposure to drive by traffic and a larger display area.

At this time, it is not my desire to have to maintain a primary location that is larger and able to accommodate more vehicles on display. Due to employment laws, overhead costs incurred with larger facilities, and potential changes in the economy, I would be content selling the 5-10 cars a month mentioned above.

Thank you,

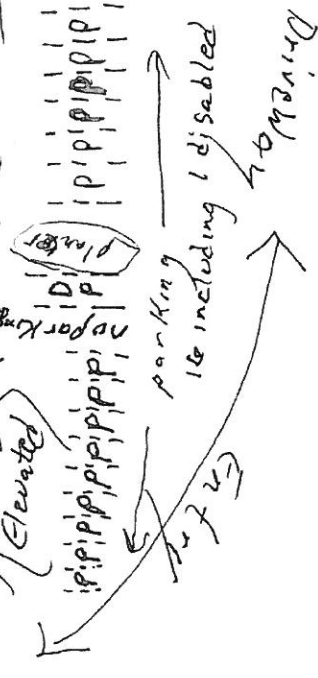
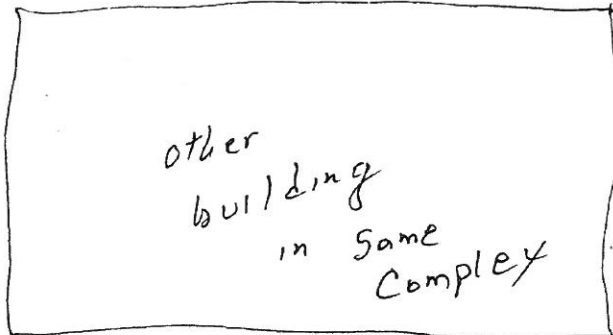
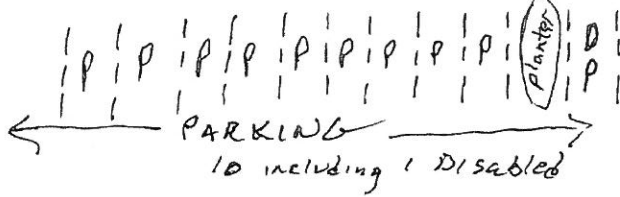
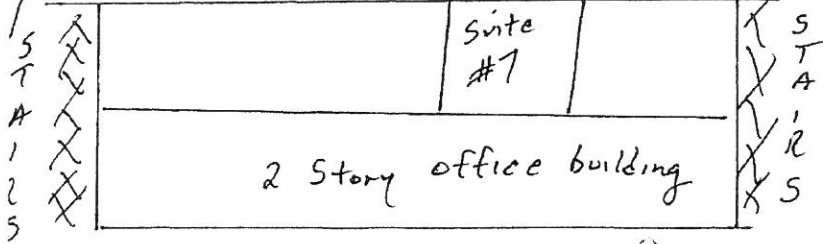
Michael Moos  
Boardwalk Motorcars Inc.  
(760) 985-8464

#1 Floor Plan layout  
 16044 Bear Valley Rd Suite 7  
 VICTORVILLE CA 92395  
 Approximate Square footage  
 483 sq ft

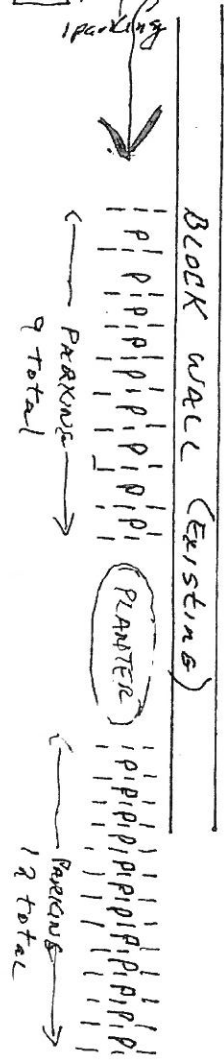
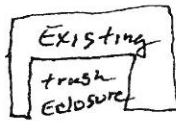


↑  
 Front entry of  
 16044 Bear Valley Rd  
 Suite #7 VICTORVILLE  
 CA 92395

16044 Bear Valley Rd #7  
VICTORVILLE CA 92395



END  
3 For PARKING SPOTS  
"DP" is for Disabled Parking



Notes

- #1 PER DMV Licensing Regulations minimum (2) two dedicated parking places MARKED "Reserved" for BOARDWALK MOTORCARS INC
- #2 Suite 7 see attached document for floor plan
- #3 Statement of Operations
  - A) Posted hours of mon - Fri 10-6 weekends and after hours by appointment
  - B) 0 zero employees
  - C) Customers by appointment

BEAR VALLEY RD

7th AVE





# CASE: ADMN19-00037

Case Type: Minor Conditional Use Permit  
Existing Zoning: C-1 Neighborhood Retail/Service  
Parcel Size: 1.0 Acres  
Location: 16044 Bear Valley Road Suite #7  
Assessor Parcel No: 3093-611-21







# ZONING ADMINISTRATOR STAFF REPORT

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**DATE:** MAY 15, 2019 **AGENDA NO. 2**

**CASE:** ADMN19-00038

**SUBJECT:** A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE INSTALLATION OF A 24-HOUR WALK-UP AUTOMATED TELLER MACHINE WITHIN AN EXISTING SUITE FOR BANK OF AMERICA AT AN EXISTING SHOPPING CENTER

**APPLICANT:** L.A. ARCHITECTS

**LOCATION:** 15683 ROY ROGERS DRIVE SUITE 207

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## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve the Minor Conditional Use Permit Case No. ADMN19-00038 subject to the recommended Conditions of Approval.

## **II. SUMMARY:**

The applicant is requesting approval of this Minor Conditional Use Permit to allow for the establishment of a walk-up Automated Teller Machine (ATM) vestibule within the Civic Center Community Sustainability Specific Plan, Community Commercial land use district. The ATM vestibule would be open 24-hours a day and would utilize card access control procedures, limiting access only to individuals possessing an ATM card. Located within the Desert Sky Plaza, the facility will only offer ATM services, within an in-line suite, and not function as a staffed bank branch or offer drive-thru services. The proposed improvements will consist of interior partition walls and the addition of two walk-up ATM's that will occupy approximately 400 sq. ft. of a 1,170 sq. ft. suite.

## **III. STAFF ANALYSIS:**

### **1. Environmental Assessment.**

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for the permitting, licensing, and minor alteration of existing structures involving negligible or no expansion of use. Since the proposed Automated Teller Machine (ATM) branch will be located within an existing suite in a developed center, Staff finds that the ATM operation is similar to permitted land uses in the district and that this exemption is applicable and will not constitute an expansion of use.

## 2. Minor Conditional Use Permit.

### **Business Operations**

- The applicant is requesting to install two walk-up ATM's accessible 24-hours a day, via access card reader, within an interior vestibule area of Suite 207 of the Desert Sky Plaza. The customer area of the suite will be approximately 200 sq. ft. and an additional 200 sq. ft. portion of the suite will house the ATM's service area while the remaining approximately 770 sq. ft. at the rear of the suite will remain vacant.

### **Parking**

- Title 16 requires 1 parking space per 200 sq. ft. of floor area for financial institutions; however, these standards do not differentiate between walk-up ATM services and staffed bank branch locations. While parking standards do not specifically address walk-up ATM's, based upon financial institution calculations, the parking requirement would be 2 spaces (400 sq. ft. / 200 sq. ft. – 2 spaces). Further, it should be noted the overall Desert Sky Plaza site was developed at a 1 parking space per 200 sq. ft. calculation; thus the proposed parking demand is in-line with the developed site. Additionally, the operation is only utilizing approximately 400 sq. ft. of the 1,170 sq. ft. suite.

### **Site Condition**

- The Desert Sky Plaza was constructed in 2007 and has been maintained in satisfactory condition with the parking areas, signage, landscaping, and the buildings in relatively good condition. To ensure the site remains adequately maintained, conditions have been included to ensure code compliance.
- The shopping center is fully developed with street improvements and paved parking areas accessible from Roy Rogers Drive and Civic Drive.

### **Required Findings**

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
  - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
    - Comment: The existing Civic Center Community Sustainability Specific Plan, Community Commercial land use district of the property conditionally permits stand alone ATM's and the service will complement existing uses within the center. Additionally, the site is along a major thoroughfare and provides a suitable site for a financial institution that is consistent with adjacent uses along Roy Rogers Drive. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
  - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
    - Comment: The site has a General Plan designation of Specific Plan with a land use district that conditionally allows for the proposed use. Additionally, Policy 2.1.3 of

the Land Use Element of the General Plan is to “Encourage the revitalization of existing commercial areas” which this proposal will promote by filling a vacancy along a major thoroughfare (Roy Rogers Drive) within a building that is well suited for the proposed operation. Therefore, Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity due to it utilizing a suite well suited to the proposed use.

- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
  - Comment: Since the site currently contains office/restaurant/retail uses with the same functions as the proposed use with no adverse affects to the circulation in the immediate vicinity, the proposal is not anticipated to overload the surrounding street system or include impacts greater than a permitted use would generate.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
  - Comment: The existing site is fully developed in accordance with Municipal Code Standards, including sufficient parking to provide for the proposed use. Additionally, financial institutions are listed as a permitted use within the Civic Center Community Sustainability Specific Plan, Community Commercial land use district, and the proposal is similar to and has similar impacts of a permitted professional office or retail use. Therefore, the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Multi-Tenant Building	Specific Plan	SP	Civic Center
North	Vacant	Commercial	C-2	N/A
South	Home Improvement Store	Specific Plan	SP	Civic Center
East	Restaurants	Specific Plan	SP	Civic Center
West	Multi-Tenant Building	Specific Plan	SP	Civic Center

**NUMBER OF RADIUS LETTERS MAILED: 10**

TAC

Attachments:

Attachment A – Site Plan

Attachment B – Aerial Image

THE ZONING ADMINISTRATOR’S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL

ADMN19-00038

May 15, 2019

**A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW  
FOR THE INSTALLATION OF A 24-HOUR WALK-UP AUTOMATED TELLER MACHINE  
WITHIN AN EXISTING SUITE FOR BANK OF AMERICA AT AN EXISTING SHOPPING  
CENTER**

**Planning Conditions:**

1. This approval shall be valid for a walk-up ATM vestibule at 15683 Roy Rogers Drive, Suite 207. The Zoning Administrator reserves the right to adjust, modify, or add functions upon written request from the applicant and/or property owner/manager, providing any change is in accord with the findings presented in the accompanying staff report and the changes do not negatively affect the public health, safety, and welfare.
2. The proposed improvements and use shall comply with all applicable development standards of Title 16 and the Civic Center Community Sustainability Plan.
3. The applicant/developer shall provide secured access to the ATM vestibule via card reader access entry as denoted on the approved plans.
4. The applicant/developer shall provide security cameras within the vestibule area and outside the subject site, Suite 207, subject to Zoning Administrator review and approval.
5. The applicant/developer shall ensure adequate site lighting is maintained during evening hours including parking lot lighting and canopy walkway lighting, subject to Zoning Administrator review and approval.
6. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, the Civic Center Community Sustainability Plan, and/or conditions of approval.
7. Any expansion of the proposed use beyond the scope of this Conditional Use Permit shall require submission and approval of a Conditional Use Permit Modification or a new Conditional Use Permit based upon the extent of the expansion.
8. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 or the Civic Center Community Sustainability Plan shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
9. Interior modifications, including demolition of existing walls shall require a building permit to the extent required by the Building Division.
10. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.

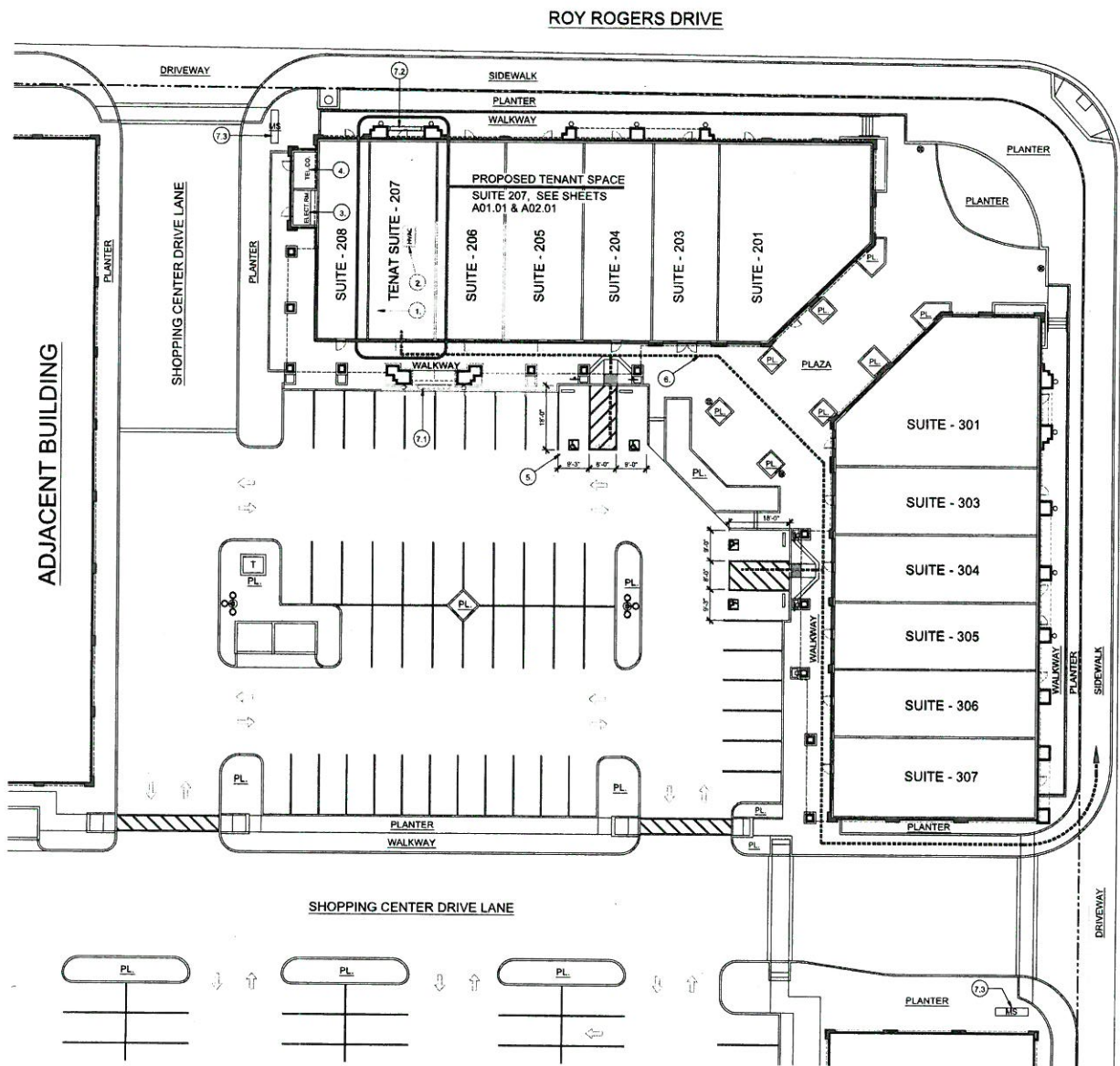
11. The applicant/developer shall provide landscaping/irrigation plans in accordance with Chapter 13.60 of the Victorville Municipal Code, entitled Water Conservation.
12. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16 or the Civic Center Community Sustainability Plan. Painted and off-site signs are prohibited and all signs shall be subject to Planning Staff review and approval prior to obtaining a sign permit.
13. All proposed temporary signage shall comply with Title 16 and the Civic Center Community Sustainability Plan. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
14. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
15. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

**Building Conditions:**

16. The project shall comply with all building codes in effect at the time of plan submittal.
17. The scope of work indicated will require accessibility to be included in accordance with Chapter 11B of the California Building Code.
18. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

ZONING ADMINISTRATOR STAFF REPORT

**ATTACHMENT A**



1 PARTIAL SITE PLAN: EXISTING - FOR REFERENCE  
 A00.50 SCALE: 1" = 16'-0"

**GENERAL NOTES:**

- A. EXISTING SITE PLAN IS SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. EXISTING DISABLED PARKING SHOWN FOR REFERENCE.
- D. EXISTING PATH OF TRAVEL SHOWN FOR REFERENCE.

**KEYNOTES:**

- 1. EXISTING TENANT SPACE: SUITE "207". AREA: 1,200 SQ.FT. SPACE IS BORDERED BY TWO TENANT SPACES.
- 2. EXISTING ROOF MOUNTED HVAC: APPROXIMATE LOCATION.
- 3. EXISTING ELECTRICAL UTILITY ROOM. POWER UTILITY METER 200AMP, 120/208V, 3P, 4W METER SERVING SUITE "207". PROVIDER: SCE. MAIN SERVICE 1600L, 120/208V, 3P, 4W.
- 4. EXISTING TELEPHONE UTILITY ROOM: TELEPHONE DATA PROVIDER: VERIZON (FRONTIER)
- 5. DISABLED PARKING: LOCATION OF DISABLED STALL SERVING ADJACENT TENANTS.
- 6. DISABLED PATH OF TRAVEL: LOCATION FROM DISABLED PUBLIC WAY AND PARKING TO TENANT SUITE "207".
- 7. NEW SIGNAGE: SIGNAE PER BANK OF AMERICA AND LANDLORD REQUIREMENTS. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC):
  1. LOCATION OF NEW FRONT ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION.
  2. LOCATION OF NEW REAR ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION.
  3. EXISTING MONUMENT SIGN (2) LOCATIONS TO BE PROVIDED WITH NEW BANK OF AMERICA SIGNAGE PANEL PLACED ON SIGN SIDE.

**LEGEND:**

- EXISTING CONSTRUCTION TO REMAIN.
- - - - EXISTING CONSTRUCTION TO BE DEMOLISHED.
- ▭ NEW CONSTRUCTION.
- GENERAL NOTE FOR DRAWINGS.
- SPECIFIC KEYNOTE FOR DRAWING.



ATM VESTIBULE REMOTE  
 Desert Sky Plaza RATM  
 15683 Roy Rogers Dr., Suite 207  
 Victorville, CA 92392  
 Manhattan ID: CAW-G28

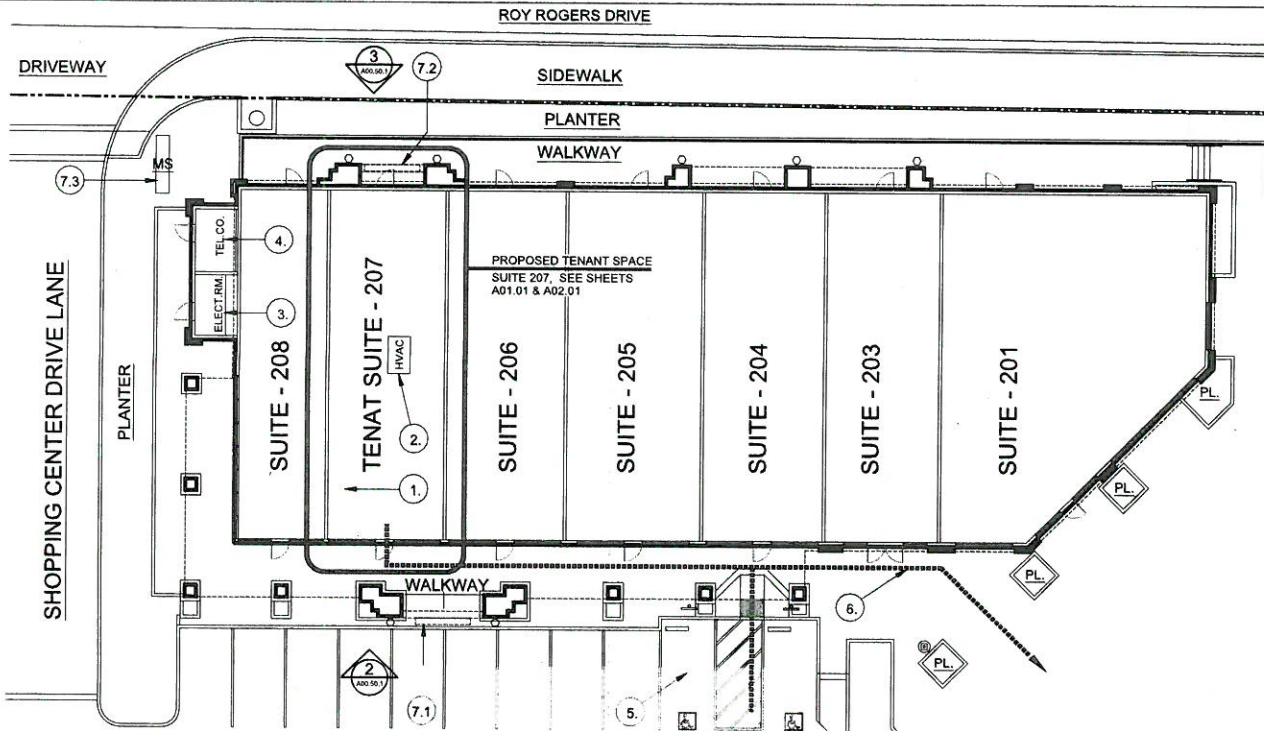
**Jones Lang LaSalle**  
 Project Management  
 275 South Valencia Avenue  
 Brea, California 92823  
**L.A. ARCHITECTS**  
 3113 W. BURBANK BOULEVARD  
 BURBANK, CALIFORNIA 91505  
 PHONE: (818) 955-8355  
 FAX: (818) 955-8824  
 E-MAIL: laarchitects@earthlink.net  
 ARCHITECTURE PLANNING DESIGN MANAGEMENT

Issue Date	Description	By	Check

Seal/Signature  
  
*Steven Hamilton*

Project Name  
 BANK OF AMERICA DESERT SKY PLAZA  
 ATM VESTIBULE REMOTE PROJECT  
 CONSTRUCTION DOCUMENTS  
 Project Number  
 50-640  
 CAD File Name  
 BA640A.DWG  
 SITE PLAN:  
 EXISTING

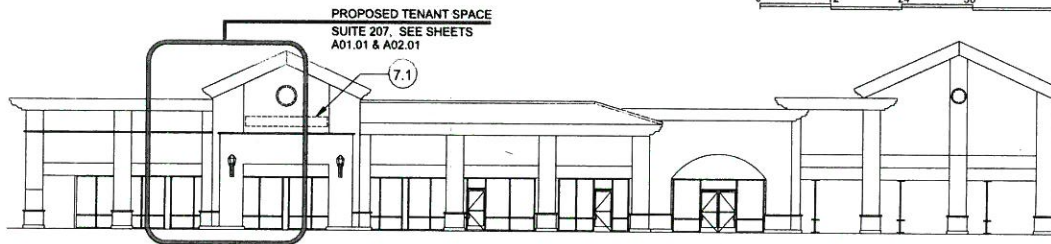
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 As Noted                02-14-19  
**A00.50**  
 Sheet Number:



1 PARTIAL SITE PLAN: EXISTING - FOR REFERENCE

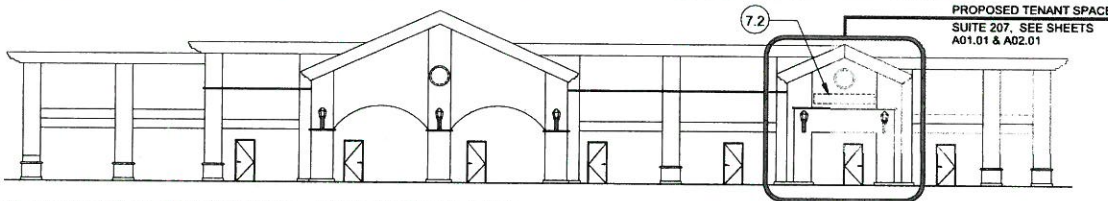
A00.50.1 SCALE: 1" = 10'-0"

0 12 24 36 60 FT.



2 PARTIAL ELEVATION: EXISTING - FRONT (SOUTH)

A00.50.1 SCALE: 1" = 10'-0"



3 PARTIAL ELEVATION: EXISTING - REAR (NORTH)

A00.50.1 SCALE: 1" = 10'-0"

**GENERAL NOTES:**

- A. EXISTING SITE PLAN AND ELEVATIONS ARE SHOWN FOR REFERENCE. FIELD VERIFY EXISTING CONDITIONS. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- B.
- C. EXISTING DISABLED PARKING SHOWN FOR REFERENCE.
- D. EXISTING PATH OF TRAVEL SHOWN FOR REFERENCE.

**KEYNOTES:**

- 1. EXISTING TENANT SPACE: SUITE "207", AREA: 1,200 SQ. FT. SPACE IS BORDERED BY TWO TENANT SPACES.
- 2. EXISTING ROOF MOUNTED HVAC. APPROXIMATE LOCATION.
- 3. EXISTING ELECTRICAL UTILITY ROOM: POWER UTILITY METER 200AMP, 120/208V, 3P, 4W METER SERVING SUITE "207". PROVIDER: SCE. MAIN SERVICE 1600A, 120/208V, 3P, 4W.
- 4. EXISTING TELEPHONE UTILITY ROOM: TELEPHONE DATA PROVIDER: VERIZON (FRONTIER).
- 5. DISABLED PARKING: LOCATION OF DISABLED STALL SERVING ADJACENT TENANTS.
- 6. DISABLED PATH OF TRAVEL: LOCATION FROM DISABLED PUBLIC WAY AND PARKING TO TENANT SUITE "207".
- 7. NEW SIGNAGE: SIGNAGE PER BANK OF AMERICA AND LANDLORD REQUIREMENTS. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC):
  - 1. LOCATION OF NEW FRONT ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION.
  - 2. LOCATION OF NEW REAR ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION.
  - 3. EXISTING MONUMENT SIGN (2) LOCATIONS TO BE PROVIDED WITH NEW BANK OF AMERICA SIGNAGE PANEL PLACED ON SIGN SIDE.

**LEGEND:**

- EXISTING CONSTRUCTION TO REMAIN.
- - - - - EXISTING CONSTRUCTION TO BE DEMOLISHED.
- ▭ NEW CONSTRUCTION.
- GENERAL NOTE FOR DRAWINGS.
- SPECIFIC KEYNOTE FOR DRAWING.

**Bank of America**



**ATM VESTIBULE REMOTE**

Desert Sky Plaza RATM  
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Issue Date Description By Check

Seal/Signature



*Steven Hamilton*

Project Name  
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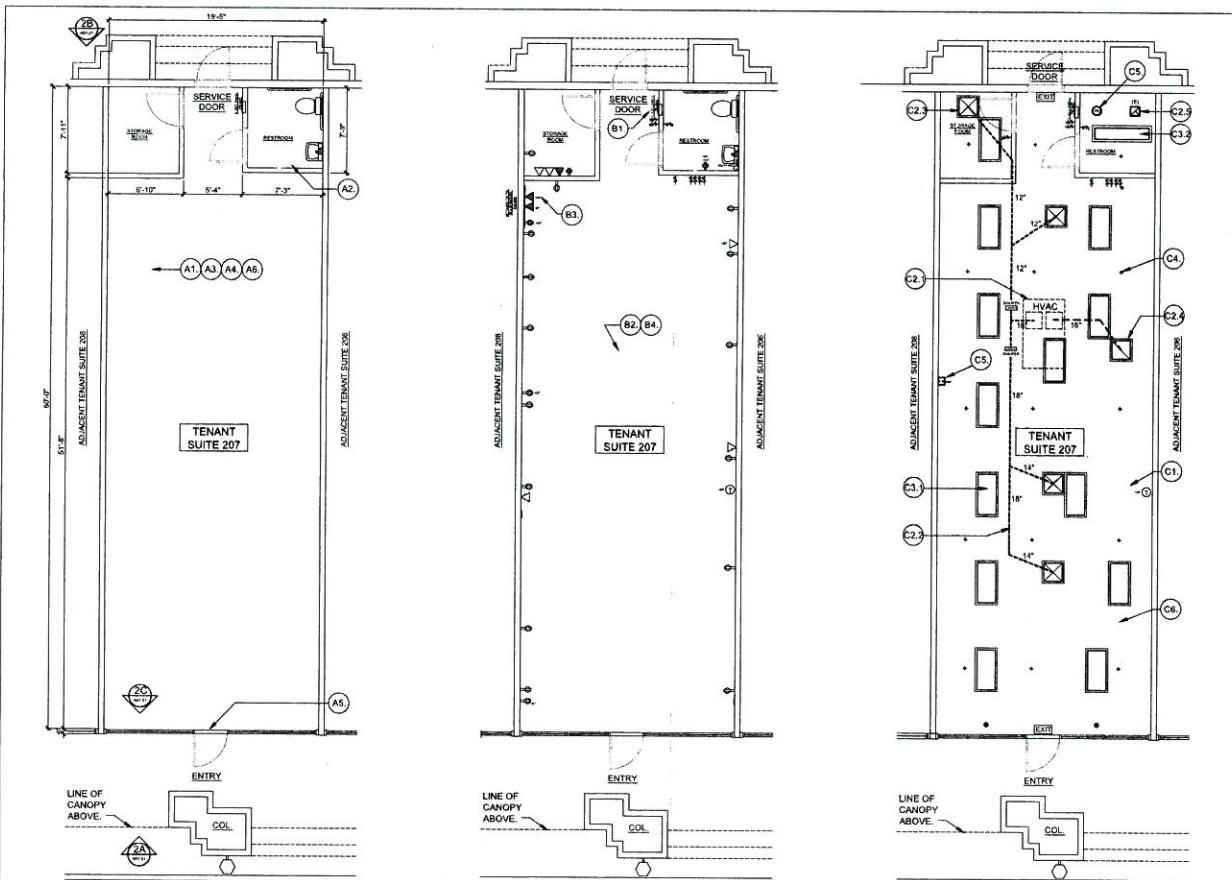
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EXISTING

Scale: As Noted Date: 02-14-19

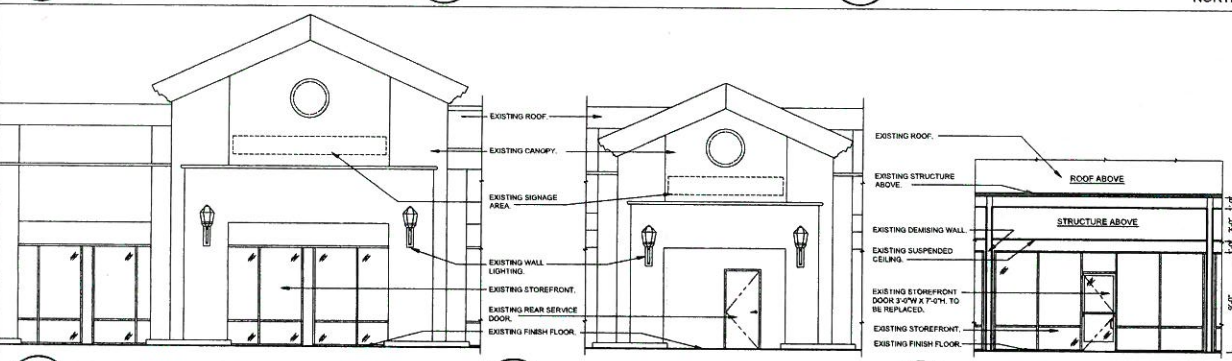
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**1A** FLOOR PLAN: EXISTING **1B** POWER / DATA PLAN: EXISTING **1C** CEILING PLAN: EXISTING  
 A01.01 SCALE: 3/16" = 1'-0" 9 FT. 9 FT. 9 FT. NORTH



**2A** EXTERIOR FRONT ELEVATION: EXISTING **2B** EXTERIOR REAR ELEVATION: EXISTING **2C** INTERIOR ELEVATION: EXISTING  
 A01.01 SCALE: 3/16" = 1'-0" 9 FT. 9 FT. 9 FT.

**LEGEND:**

- KEYNOTE FOR ENTIRE PLAN
- KEYNOTE FOR SPECIFIC AREA
- EXISTING CONSTRUCTION TO REMAIN.
- - - EXISTING CONSTRUCTION TO BE REMOVED.
- ▭ NEW CONSTRUCTION.
- ◻ 24 x 48 RECESSED LIGHT FIXTURE
- 6 DIA. RECESSED DOWNLIGHT
- ⊗ HVAC: 24 X 24 SUPPLY GRILLE
- ⊗ HVAC: 24 X 24 MAIN RETURN GRILLE
- ⊗ HVAC: EXHAUST FAN
- ⊗ FIRE STROBE: CEILING MOUNTED
- ⊗ FIRE STROBE: WALL MOUNTED
- ⊗ FIRE SPRINKLER
- ⊗ LIGHT SWITCH
- ⊗ ELECTRICAL DUPLEX
- ⊗ ELECTRICAL QUAD
- ⊗ THERMOSTAT
- ⊗ JUNCTION BOX
- ⊗ TELEPHONE / DATA RECP.
- ⊗ CEILING MOUNTED ELECT. DUPLEX
- ⊗ OCCUPANCY SENSOR
- ⊗ CARD READER
- ⊗ SUSPENDED ACOUSTICAL TILE CEILING 24" x 48"
- ⊗ CEILING HEIGHT & MATERIAL
- (E) EXISTING
- (R) RELOCATED
- (N) NEW

**KEYNOTES: FLOOR PLANS**

**GENERAL NOTES:**

- EXISTING FLOOR PLAN IS SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- A PORTION OF EXISTING EXTERIOR LIGHTING WILL BE UPGRADED OR ADDITIONAL LIGHT PROVIDED BY BANK OF AMERICA SECURITY LIGHTING VENDOR (NIC).
- CONTRACTOR TO PROVIDE POWER AND COORDINATION FOR ALL EXTERIOR SIGNAGE. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC).

**FLOOR PLAN:**

- EXISTING TENANT SPACE SUITE 207: 1,200 SQ.FT. USEABLE SQUARE FOOTAGE. THE SUITE IS BORDERED BY TWO TENANT SPACES.
- EXISTING RESTROOM: FIXTURES TO BE REMOVED AND UTILITIES TO BE CAPPED. TENANT SPACE NON-OCCUPIED.
- EXISTING FINISHES: CARPET ON CONCRETE SLAB, VINYL WALL BASE, PAINTED GYPSUM BOARD WALLS, SUSPENDED ACOUSTICAL TILE CEILING, ALUMINUM STOREFRONT GLAZING SYSTEM WITH STOREFRONT ENTRY DOOR, AND HOLLOW METAL REAR ENTRY FRAME AND DOOR.
- EXISTING UTILITIES: POWER, SCE. TELEPHONE / DATA, VERIZON (FRONTIER), GAS: SOCALGAS.
- EXISTING STOREFRONT ENTRY: REPLACE EXISTING DOOR AND PROVIDE NEW STOREFRONT ENTRY DOOR WITH CARD READER PER BANK OF AMERICA REQUIREMENTS. DOOR: 3'-0" W X 7'-0" H TO MATCH EXISTING METAL REAR ENTRY FRAME AND DOOR.
- PROVIDE ALL REQUIRED DEMOLITION TO ALLOW FOR NEW CONSTRUCTION, SEE A02.01. VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- NEW SIGNAGE: SIGNAGE PER BANK OF AMERICA AND LANDLORD REQUIREMENTS. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC).  
 1. NEW FRONT ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION, SEE SHEET A00.50 FOR LOCATION.  
 2. NEW REAR ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION, SEE SHEET A00.50 FOR LOCATION.  
 3. EXISTING MONUMENT SIGN (2) LOCATIONS TO BE PROVIDED WITH NEW BANK OF AMERICA SIGNAGE PANEL PLACED ON SIGN SIDE. SEE SHEET A00.50 FOR LOCATION.

**POWER / TELEPHONE / DATA PLAN**

- EXISTING ELECTRICAL SERVICE:  
 1. ELECTRICAL PANEL: 200AMP PANEL 120/208V 3-P. 4W. 42 CIRCUIT.  
 2. MAIN SERVICE SWITCH 1000AMP: 120/208V 3-P. 4W LOCATED IN ADJACENT ELECTRICAL ROOM. UTILITY ELECTRIC METER: SCE #256009-07536. (SEE SITE PLAN FOR LOCATION A00.50).
- EXISTING TELEPHONE / DATA: VERIZON (FRONTIER), LOCATED IN NEARBY TELCO. ROOM. SEE SITE PLAN FOR LOCATION A00.50.
- LOCATION WITHIN SUITE 207 TELCO. / LAN 24" x 24" BACKBD.
- PROVIDE ALL REQUIRED DEMOLITION TO ALLOW FOR NEW CONSTRUCTION, SEE A02.01.

**REFLECTED CEILING PLAN**

- EXISTING SUSPENDED ACOUSTICAL CEILING: 24 X 48 ACOUSTICAL TILE SYSTEM. REPLACE MISSING TILES.
- EXISTING HVAC: MECHANICAL UNIT FOR SUITE 207. REUSE EXISTING UNIT:  
 1. ROOF MOUNTED PACKAGE UNIT: CARRIER, MODEL #484XL005-351-. SERIAL #2601530334. 208/230V.  
 2. EXISTING DUCTING: SEE PLAN FOR DUCTING SIZES.  
 3. EXISTING SUPPLY: 24" X 24" GRILLES WITH DUCTING.  
 4. EXISTING RETURN: 24" X 24" RETURN GRILLE WITH DUCTING.  
 5. EXISTING EXHAUST: 12" DIA. EXHAUST FAN.
- EXISTING LIGHT FIXTURES: RECESSED FLUORESCENT LIGHTS.  
 1. EXISTING 24 X 48 FLUORESCENT LIGHT FIXTURE 2-LAMP T8 32W TO REMAIN. CLEAN, AND RELAMP.  
 2. EXISTING 9 X 48 FLUORESCENT LIGHT FIXTURE 2-LAMP T8 32W TO REMAIN. CLEAN, AND RELAMP.
- EXISTING FIRE SPRINKLERS: TO BE MODIFIED TO ALLOW FOR NEW CONSTRUCTION. CONTRACTOR TO INCLUDE COST FOR DESIGN AND PERMITTING.
- EXISTING FIRE LIFE SAFETY ALARM STROBE: FIRE LIFE SAFETY SYSTEM TO BE MODIFIED TO ALLOW FOR NEW LAYOUT. CONTRACTOR TO INCLUDE COST FOR DESIGN AND PERMITTING.
- PROVIDE ALL REQUIRED DEMOLITION TO ALLOW FOR NEW CONSTRUCTION, SEE A02.01.

**Bank of America**

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Issue Date	Description	By	Check

**Seal/Signature**

*Steven Hamilton*

**Project Name**  
 BANK OF AMERICA DESERT SKY PLAZA  
 ATM VESTIBULE REMOTE PROJECT

**CONSTRUCTION DOCUMENTS**

**Project Number**  
 50-640

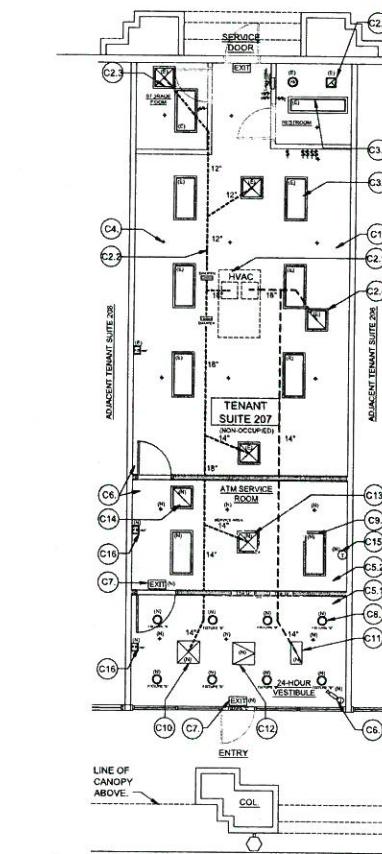
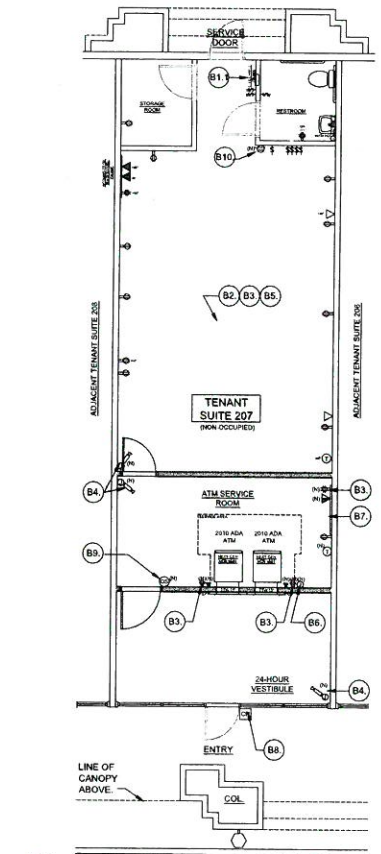
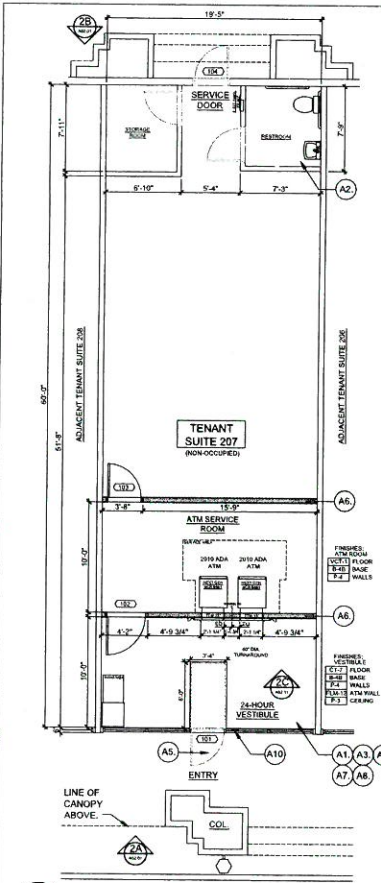
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**FLOOR PLAN & ELEVATIONS: EXISTING**

**Scale:** As Noted **Date:** 02-14-19

**A01.01**

Sheet Number:



### KEYNOTES: FLOOR PLANS

- GENERAL NOTES:**
1. PROPOSED PLAN IS SHOWN FOR CONSTRUCTION. FIELD VERIFY EXISTING CONDITIONS.
  2. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
  3. A PORTION OF EXISTING EXTERIOR LIGHTING WILL BE UPGRADED OR ADDITIONAL LIGHT PROVIDED BY BANK OF AMERICA SECURITY LIGHTING VENDOR (NIC).
  4. SEE SHEET A10.01 FOR LEGEND AND SYMBOLS LIST.
  5. SEE ELECTRICAL AND MECHANICAL ENGINEERING DOCUMENTS.
  6. CONTRACTOR TO PROVIDE POWER AND COORDINATION FOR ALL EXTERIOR SIGNAGE. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC).

- FLOOR PLAN:**
- (A1) NEW ATM 24 HOUR VESTIBULE. PROVIDE CONSTRUCTION TO ALLOW INSTALLATION OF (2) NEW NEXT GEN NCR 6884 TTY WALL ATM. SURROUND FRAME 6-SUP-555N-DOUBLE-STD-NO-3.5. ATM LOBBY CHECK DESK. BRAS/15D. WALK-OFF MAT, AND NEW STOREFRONT ENTRY DOOR.
- (A2) RESTROOM: FIXTURES TO BE REMOVED AND UTILITIES TO BE CAPPED. TENANT SPACE NON-OCCUPIED.
- (A3) NEW FINISHES: SEE FINISH PLAN.  
1. ATM 24-HOUR LOBBY: TILE FLOOR C7-7. WALL BASE B-4B. ATM WALL COVERING FLM-12. WALLS P-4 AND CEILING P-3.  
2. ATM WORK ROOM: FLOORING VCT-1. WALL BASE B-4B. WALLS P-4 AND CEILING ACT-1A.  
3. ALL OTHER FINISHES TO REMAIN (UNO).

- UTILITIES: AS FOLLOWS:**
- (A4) POWER: EXIST. PROVIDE ELECTRICAL UTILITY METER FROM MPCE TO REMAIN. SEE A00.50 TELEPHONE / DATA: VERIZON (FRONTIER); PROVIDE FOR SECURE TELEPHONE DATA FROM MPCE. SEE A00.50
- (A5) EXISTING STOREFRONT ENTRY: REPLACE EXISTING DOOR AND PROVIDE NEW STOREFRONT ENTRY DOOR WITH CARD READER PER BANK OF AMERICA REQUIREMENTS. DOOR: 3'-0" W x 7'-0" H TO MATCH EXISTING.
- (A6) NEW ATM WALL: PROVIDE NEW FULL HEIGHT SECURE TYPE-A WALL WITH NEW 3'-6" x 7'-0" HOLLOW METAL DOOR. FRAME AND HARDWARE. SEE SCHEDULE. PROVIDE ATM ROOM OPENINGS. SEE ATM DETAILS SHEET A09.01 & A09.02.
- (A7) PATCH WALL AND CEILING TO MATCH EXISTING AT AREAS OF DEMOLITION.

- (A8) TENANT WALLS: CONTRACTOR VERIFY EXISTING WALLS ARE FULLY DEMISED. CORRECT WHERE NECESSARY TO MATCH EXISTING CONSTRUCTION. TENANT SPACE TO BE MADE SECURE PER BANK REQUIREMENTS. CONTRACTOR TO PROVIDE SECURITY MESH 1/4" x #20 EXPANDED STEEL AND GYPSUM BOARD OVERLAY AT ALL ATM INTERIOR WALLS.
- (A9) NEW SIGNAGE: SIGNAGE PER BANK OF AMERICA AND LANDLORD REQUIREMENTS. ALL SIGNAGE BY BOFA SIGN VENDOR UNDER SEPARATE PERMIT (NIC).  
1. NEW FRONT ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION. SEE SHEET A09.50 FOR LOCATION.  
2. NEW REAR ELEVATION ILLUMINATED CHANNEL LETTERS. CONTRACTOR TO PROVIDE POWER AND COORDINATION. SEE SHEET A09.50 FOR LOCATION.  
3. EXISTING MONUMENT SIGN (2) LOCATIONS TO BE PROVIDED WITH NEW BANK OF AMERICA SIGNAGE PANEL PLACED ON SIGN SIDE. SEE SHEET A09.50 FOR LOCATION.

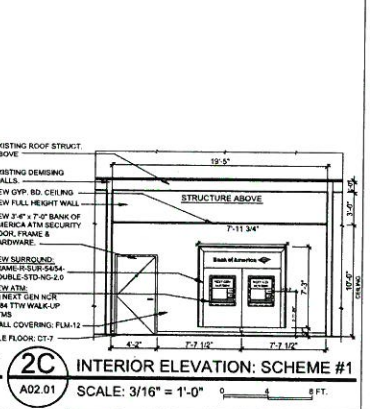
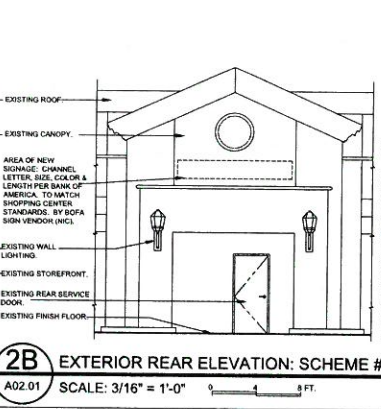
- (A10) PROVIDE "EXIT" PLACARD WITH BRAILLE ADJACENT TO ENTRY DOOR. SEE A10A.01.

### POWER / TELEPHONE / DATA PLAN

- (B1) EXISTING ELECTRICAL SERVICE:  
1. ELECTRICAL PANEL, 200AMP PANEL, 120/208V 3P 4W. 42 CIRCUIT.  
2. MAIN SERVICE SWITCH 1600AMP, 120/208V 3P 4W LOCATED AT NEARBY ELECTRICAL / TELCO ROOMS. UTILITY ELECTRIC METER: SEE #256000-077536. SEE SITE PLAN FOR LOCATION A00.50.
- (B2) EXISTING TELEPHONE / DATA: VERIZON (FRONTIER); LOCATED IN NEARBY POWERTEL ROOM. PROVIDE FOR SECURE TELEPHONE DATA FROM MPCE. SEE SITE PLAN FOR LOCATION A09.50
- (B3) NEW POWER AND DATA: WALL FEEDS COORDINATE WITH SCHEDULED EQUIPMENT VENDOR. SEE ELECTRICAL DRAWINGS.
- (B4) NEW SECURITY CAMERA: PROVIDE JUNCTION BOX FOR ALL CEILING MOUNTED SECURITY CAMERAS.
- (B5) AREA NEW BANK OF AMERICA SIGNAGE: SEE SIGNAGE DRAWINGS BY BOFA SIGN VENDOR (NIC). SEE ELEVATION A09.01 & A09.02. VERIFY CONDUIT. SEE SHEET A09.50 FOR LOCATIONS.
- (B6) NEW ATM SURROUND POWER: PROVIDE JUNCTION BOX ABOVE CEILING FOR ATM SURROUND.
- (B7) NEW ELECTRICAL SECURITY PANEL: PROVIDE NON-PAINTED FIRE RATED PLYWOOD WALL MOUNTED.
- (B8) NEW CARD READER: PARASIT ACS-2-KIT-9-SR-S. PROVIDE FOR BOFA SECURE CARD READER ENTRY.
- (B9) NEW OCCUPANCY SENSOR: PROVIDE FOR EXISTING LIGHTING.
- (B10) NEW TIME CLOCK.

### REFLECTED CEILING PLAN

- (C1) EXISTING SUSPENDED ACOUSTICAL CEILING: 24 X 48 ACOUSTICAL TILE SYSTEM. REPLACE MISSING TILES.
- (C2) EXISTING HVAC: MECHANICAL UNIT FOR SUITE 207. REUSE EXISTING UNIT.  
1. ROOF MOUNTED PACKAGE UNIT; CARRIER, MODEL #98H4005-55-1, SERIAL #0960630394, 208/230V.  
2. EXISTING DUCTING: SEE PLAN FOR DUCTING SIZES.  
3. EXISTING SUPPLY: 24" X 24" GRILLES WITH DUCTING.  
4. EXISTING RETURN: 24" X 24" RETURN GRILLE WITH DUCTING.  
5. EXISTING EXHAUST: 18" DIA. EDXHAUST FAN.
- (C3) EXISTING LIGHT FIXTURES: RECESSED FLUORESCENT LIGHTS.  
1. EXISTING 2 X 4 FLUORESCENT LIGHT FIXTURE 2-LAMP 18 32W TO REMAIN. CLEAN, AND RELAMP.  
2. EXISTING 2 X 4 FLUORESCENT LIGHT FIXTURE 2-LAMP 18 32W TO REMAIN. CLEAN, AND RELAMP.
- (C4) EXISTING FIRE SPRINKLERS: TO BE MODIFIED TO ALLOW FOR NEW CONSTRUCTION. CONTRACTOR TO INCLUDE COST FOR DESIGN AND PERMITTING.
- (C5) NEW SUSPENDED CEILINGS: PREPARE AREA FOR NEW CEILINGS. SEE SHEET A09.02 FOR ALL CEILING DETAILS.  
1. PROVIDE GYPSUM BOARD CEILING WITH NEW LIGHTING, HVAC, EXIT SIGN, AND ACCESS PANEL.  
2. PROVIDE NEW DOMESTIC ACOUSTICAL TILE CEILING SYSTEM ACT-1A WITH NEW LIGHTING, HVAC, AND EXIT SIGN.
- (C6) NEW SECURITY DOME CAMERA: PANASONIC WV-CF634, 4.25" D X 3.724"
- (C7) NEW ILLUMINATED EXIT SIGN: FIXTURE TYPE-K, HUBBELL #0BLRTHM. BRUSHED ALUM. FINIS-4. CEILING MOUNTED WITH MIRROR FINISH.
- (C8) NEW DOWNLIGHT: FIXTURE TYPE-B, CREE #WR6-26L-35K-120-120, 44 WATTS.
- (C9) NEW RECESSED LIGHT: FIXTURE 24x48 LED CREE #2D24-48L-35K-120-120, 44 WATTS.
- (C10) NEW SUPPLY GRILLE: TITUS DMM - ARCHITECTURAL SQUARE PANEL CEILING SUPPLY AIR DIFFUSER, STEEL CONST. MODULE SIZE 36x36. CURVED BACK-PAN DESIGN. FOR GYPSUM BOARD CEILING. EXTEND DUCTING.
- (C11) NEW RETURN GRILLE: TITUS 50" - EGGRATE RETURN AIR GRILLE - CORE OF 1/2"x1/2"x1" ALUMINUM GRID, 2x12 PANEL SIZE. PROVIDE SQUARE TO ROUND TRANSITION AS NEEDED. EXTEND DUCTING.
- (C12) NEW CEILING ACCESS PANEL: PER BOFA STANDARD.
- (C13) NEW 2X2 HVAC SUPPLY GRILLE: PER BOFA STANDARD.
- (C14) NEW 2X2 HVAC RETURN GRILLE: PER BOFA STANDARD.
- (C15) NEW THERMOSTAT: HONEYWELL T8900.
- (C16) NEW FIRE LIFE SAFETY: PROVIDE NEW AND MODIFY EXISTING. CONTRACTOR TO INCLUDE COST FOR DESIGN AND PERMITTING.



### ATM VESTIBULE REMOTE

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Manhattan ID: CAW-G28

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ARCHITECTURE PLANNING DESIGN MANAGEMENT

No.	Date	Description	By	Check

Seal/Signature

**Project Name**  
BANK OF AMERICA DESERT SKY PLAZA  
ATM VESTIBULE REMOTE PROJECT

### CONSTRUCTION DOCUMENTS

**Project Number**  
SD-640

**CAD File Name**  
BA640A.DWG

**FLOOR PLAN & ELEVATIONS: PROPOSED SCHEME #1**

**Scale:** Date:  
As Noted 02-14-19

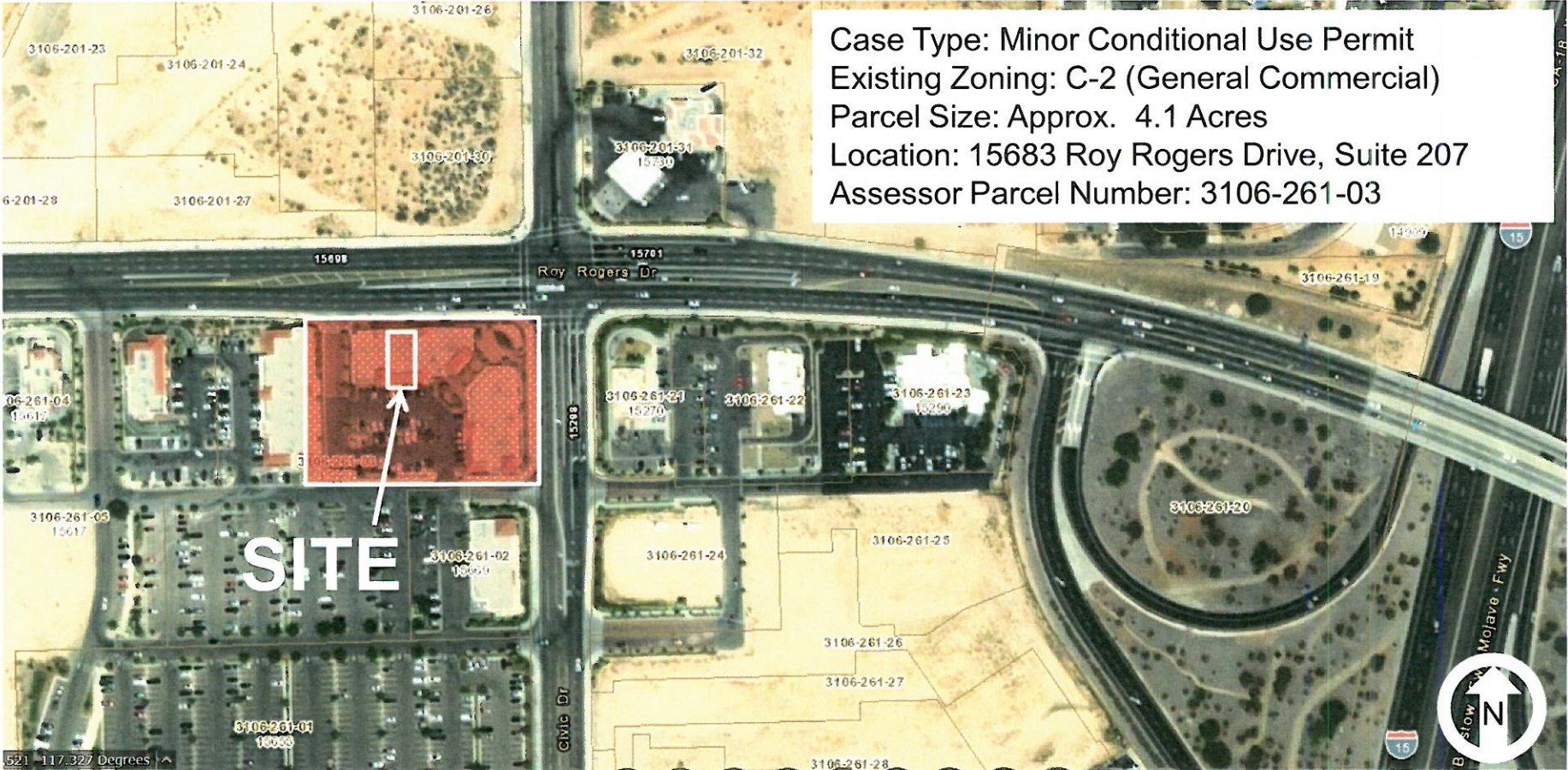
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Sheet Number:

ZONING ADMINISTRATOR STAFF REPORT

# ATTACHMENT B

# CASE: ADMN19-00038





# ZONING ADMINISTRATOR STAFF REPORT

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**DATE:** MAY 15, 2019 **AGENDA NO. 3**

**CASE:** ADMN19-00041

**SUBJECT:** A MINOR SITE PLAN AND CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR INTERIOR AND EXTERIOR MODIFICATIONS FOR AN INDUSTRIAL TRADE SCHOOL WITHIN SCLA

**APPLICANT:** DELAWIE – BRAD KERR

**LOCATION:** 18654 READINESS STREET

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## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve the Minor Conditional Use Permit portion of Case No. ADMN19-00041 subject to the recommended Conditions of Approval; and
3. **Minor Site Plan** – Approve the Minor Site Plan portion of Case No. ADMN19-00041, subject to the recommended Conditions of Approval.

## **II. SUMMARY:**

The applicant is requesting approval of this Minor Conditional Use Permit and Minor Site Plan to allow for the establishment of an electronics technician trade school within the Airport and Support Facilities (ASF) District at the Southern California Logistics Airport (SCLA). The proposed school will be located within existing Hangar 734 on what is considered the 'on-airport' portion of SCLA. The school would enroll up to 76 apprentices and would involve interior modifications and site modifications. Staff considers the school compatible with the operations of an airport since the instruction involves aircraft work and Staff recommends approval with the proposed conditions.

## **III. STAFF ANALYSIS:**

### **1. Environmental Assessment.**

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for the permitting, licensing, and minor alteration of existing structures involving negligible or no expansion of use. Since the proposed trade school will utilize an existing site with no building expansion, and because of the sites previous aerospace nature, Staff finds that this exemption is applicable and will not constitute an expansion of use.

## 2. Minor Conditional Use Permit.

- A Minor Conditional Use Permit is required since the ASF District of the SCLA Specific Plan ultimately refers to the M-2 Heavy Industrial Zone for permitted and conditional uses allowed within the ASF District. Trade Schools are listed as a conditional use within the M-2 District, thus requiring a CUP in the ASF District of the SCLA Specific Plan.
- The trade school is an electronics technician apprenticeship program for General Atomics, which includes an aviation division. The program instructs up to 76 students in electronics, computer work and aircraft work with 6 instructors. However, there will be only 65 occupants within the hangar at any given time. The school operates Monday through Friday from 6:00 a.m. until 4:30 p.m. but the length of the program has not been provided by the applicant. The facility will include a classroom, a computer room, an office area, a storage area, a break room, restrooms and the hangar area.

### Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
  - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code and the Specific Plan.*
    - Comment: The underlying ASF zoning of the site conditionally permits trade schools such as this proposal. The school teaches aviation and is therefore related to the operation of an airport. Consequently, the proposed use is in accord with the objectives and requirements of the Development Code and the Specific Plan.
  - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
    - Comment: The site has a General Plan designation of Specific Plan with an ASF Land Use District that conditionally allows for the proposed school. Additionally, Implementation Measure 2.1.2.1 of the Land Use Element of the General Plan states "...to facilitate and expand the use of SCLA as an aircraft service industry training facility to increase the community's supply of a trained workforce." The hope would be that many students would transition to workers within SCLA and the City of Victorville. Therefore, Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.
  - *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
    - Comment: The proposed use will generate a greater traffic demand as most students and staff would drive to the location, but the increase in traffic is not expected to exceed or diminish the level of service expected for Phantom West or Air Expressway. Additionally, traffic impacts within the area are anticipated and planned for as it is within a redeveloping airbase with large warehouses and industrial uses that utilize a considerable workforce.

**3. Minor Site Plan**

- The applicant is proposing improvements to bring the site into compliance with current Development Code (Title 16) standards. Interior improvements are proposed as well, including the classroom, computer room, the hangar space and all other ancillary areas. However, no exterior improvements to the building are shown.
- The applicant proposes several improvements to the site including new parking spaces, handicapped spaces, a new sidewalk and handicapped access, a new trash enclosure, new evaporative coolers, however no landscaping. Staff notes that most on-airport buildings were developed and maintained with no landscaping, therefore none will be required. Additionally, Staff (including Airport Staff) will require new slurry coat, patching and sealing of the parking lot prior to striping, new wheel stops, handicapped signage, bollards (to protect existing equipment), the relocation of the evaporative coolers closer to the building and the relocation of a backflow device within the pathway of the new sidewalk.

**Parking**

- Since it is assumed every student and every instructor will drive, one space will be required for each person. The applicant indicates that there will be a total capacity of 82 people at the school, but only 65 occupants at one time, therefore 65 spaces are required, whereas 81 spaces are proposed. The surplus would be appropriate for any class shift changes or increases of enrollment to the school.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Airport Hangar	Specific Plan	-	ASF
North	Airport Hangar	Specific Plan	-	ASF
South	Airport Hangar	Specific Plan	-	ASF
East	Stirling Building	Specific Plan	-	BP
West	Airport Hangar	Specific Plan	-	ASF

**NUMBER OF RADIUS LETTERS MAILED: 2**

MJS

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL  
ADMN19-00041  
May 15, 2019

**A MINOR SITE PLAN AND CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL  
EXEMPTION TO ALLOW FOR INTERIOR AND EXTERIOR MODIFICATIONS FOR AN  
INDUSTRIAL TRADE SCHOOL WITHIN SCLA**

**Minor Conditional Use Permit**

**Planning Conditions:**

1. This approval is to allow for a trade school for an electronics technician apprenticeship program with typical hours of operation from 6:00 a.m. to 4:30 p.m. Monday-Friday on property located at Hangar 734 18654 Readiness Street. The Zoning Administrator may allow revised days and hours of operation, providing the primary use does not change and the changes do not negatively affect the public health, safety, and welfare.
2. Any expansion of the proposed use beyond the scope of this Minor Conditional Use Permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
3. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 or the SCLA Specific Plan shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
4. Should a parking problem occur due to increased enrollment or any other issue, this use shall be subject to Zoning Administrator and/or Planning Commission review and approval.
5. This use shall not interfere with the operation of the airport.
6. Prior to occupancy of the hangar, the Conditions of Approval for the associated Minor Site Plan shall be met.

**Minor Site Plan**

**Planning Conditions:**

7. The proposed improvements and use shall comply with all applicable development standards of Title 16 and the SCLA Specific Plan.
8. The number and location of all handicapped parking spaces and required signage shall be subject to Development Department review and approval.
9. The development shall be in substantial conformity with the plans submitted with this application, unless modification is required by condition.
10. The parking area shall be restriped, with parking space delineations and entry/exit arrows prior to the issuance of a Certificate of Occupancy.
11. The applicant shall install wheel stops at each parking stall, excepting for the parallel parking stalls.
12. The applicant shall install a trash enclosure in conformance with Section 16-3.24.110 of the Victorville Municipal Code. The enclosure shall have solid block walls with non-transparent metal gates with materials and colors to match the buildings. Additionally, all trash enclosures shall include "walk-in"



rear or side access for pedestrian use as well as a solid roof/cover that is architecturally compatible with the primary building(s) onsite and serves to protect the refuse area from inclement weather. The enclosure shall also include measures to secure the structure to prohibit unauthorized access.

13. All proposed signs, including any freestanding signage, shall comply with Title 16 and the SCLA Specific Plan. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. Painted and off-site signs are prohibited and all signs shall be subject to Planning Staff review and approval prior to obtaining a sign permit.
14. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
15. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
16. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.
17. The project shall comply with all Federal, State and local laws and policies, including: the California Government Code (including the Planning, Zoning and Development Laws), Environmental Quality Act (CEQA), Subdivision Map Act, International Building Code, Green Code, Fire Code; and, Victorville General Plan and Municipal Code; unless permitted to deviate through provisions of such, or through adopted mitigation measures, conditions of approval, or the plans themselves.

**Building Conditions:**

18. The project shall comply with all building codes in effect at the time of plan submittal.
19. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
20. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

**SCLA Conditions:**

21. The applicant shall slurry coat and seal the existing parking lot area prior to the issuance of a Certificate of Occupancy.
22. Bollards shall be added at the interior of the gates to protect the existing and/or new equipment.
23. The new evaporative coolers and any ground slabs shall be installed as close to the hangar building as the Building Code permits.
24. The backflow device shown within the sidewalk shall be relocated to an appropriate location.



April 12, 2019

**Planning Comments General Atomics (GA) Response:**

**Expected enrollment and number of Staff present on-site: We anticipate the following for the Electronics Technician Apprenticeship Program:**

- Electronics classroom- 24 apprentices, 2 staff
- Computer lab- 32 apprentices, 2 staff
- Hangar- 20 apprentices, 2 staff
- Total capacity=82

**\*Note: Facility is not expected to exceed more than 65 occupants at one time\***

**Hours of operation:**

- Monday through Friday, 0600-1630

**A description of the educational facility and general on-site functions (e.g. computer lab, classrooms, office space, aircraft work within the hangar, etc.). Description of education facility and general on-site functions includes:**

- Classroom for Apprenticeship Occupational Related Supplemental Instruction (RSI)
- Computer Lab supporting RSI and relevant OJT web-based training
- Storage Area for training materials and tools
- Office Space to be utilized for administrative duties related to instruction, on-the-job training, and employee apprentice support
- Hangar with aircraft equipment for on-the-job training (OJT)

**Note:**

“Apprentices will participate in classroom instruction and apply theoretical knowledge through “hands on”; on-the-job training through a Division of Apprenticeship Standards (DAS) approved and registered occupational Electronics Technician Apprenticeship Program”

# BUILDING AV03 / HANGAR 734 TI

18654 READINESS ST  
VICTORVILLE, CA 92301

PLANNING: INTERIM USE PERMIT / MINOR SITE PLAN & VARIANCE SUBMITTAL - 04/15/19



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STAMP



PROJECT NAME AND ADDRESS

BUILDING AV03 / HANGAR 734 TI  
18654 READINESS ST  
VICTORVILLE, CA 92301

#	DESCRIPTION	DATE
	PLANNING SUBMITTAL	04/15/19

DRAWN BY

PROJECT NUMBER

1877

DRAWING SCALE

As Indicated

SHEET TITLE

COVER SHEET

SHEET NUMBER

G-001

### PROJECT SHEET INDEX

Sheet Number	Sheet Name
05-001	COVER SHEET
ARCHITECTURAL 05-002	SITE PLAN
A-111	FLOOR PLAN & REFLECTED CEILING PLAN
INTERIOR 1-111	FURNITURE PLAN & FINISH SCHEDULE

### BUILDING CODE DATA

TYPE OF CONSTRUCTION	U-R
OCCUPANCY CLASSIFICATION	B - OFFICE
(IBC CHAPTER 3)	B-1 - HANGER
MEANS OCCUPANCY	YES - NON-RATE, NON-SEPARATED USE
BUILDING HEIGHT ALLOWED EXISTING	40 FEET, 2 STORES (S-1)
BUILDING AREA	38.4 FEET, 1 STORES
BASE ALL COVERABLE AREA	34,000 SF
EXISTING RUA DNO AREA	21,600 SF (8,300 SF + 15,300 SF-1)
<b>FIRE-RESISTANCE RATING REQUIREMENTS</b>	
(LIST BUILDING ELEMENTS FROM TABLE 601)	
PRIMARY STRUCTURAL FRAME	3
EXT. BEARING WALLS	3
INT. BEARING WALLS	3
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	3
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	3
<b>LIFE SAFETY SYSTEMS</b>	
SPRINKLERS	YES
FIRE ALARM	YES
SMOKE DETECTION	YES

### PROJECT SUMMARY

PARTIAL & 30% OF TENANT IMPROVEMENT OF EXISTING OFFICE BUILDING AND AIRCRAFT HANGER. EXISTING OCCUPANCY OF AREA OF WORK WILL REMAIN THE SAME. OCCUPANCY TYPE (B) NON-RATE USE WILL BE REQUESTED FROM GENERAL BUSINESS OFFICES TO EDUCATIONAL OCCUPANCY (E) OR AIRCRAFT HANGAR (U-R). THIS PROJECT INCLUDES ELECTRICAL, MECHANICAL, PLUMBING, FIRE ALARMS, SMOKE DETECTION, LIGHT FIXTURES AND AUDIO VISUAL SYSTEMS. THIS PROJECT INCLUDES ALSO INCLUDES SITE WORK, SITE WORK, TO ACCOMMODATE TO BE FINISHED SPACES, ACCESSIBILITY UPGRADES AND EXTERIOR MOUNTED MECHANICAL EQUIPMENT.

NEW WORK WILL INCLUDE NEW FIBER OPTIC, NON-STRUCTURAL WALLS, ELECTRICAL, MECHANICAL, PLUMBING, FIRE DETECTOR AND FIRE ALARM.

**PROJECT USE**  
LOCATION WILL BE USED AS AN INSTRUCTION SITE TO TEACH STUDENTS HOW TO PERFORM MAINTENANCE AND REPAIRS REQUIRED FOR DAMAGED AIRCRAFT AND HIGH REGULATION SURVEILLANCE AND RADAR RADIOS SYSTEMS.

TOTAL EMPLOYEE / STUDENT OCCUPANCY: 1000 OF 40

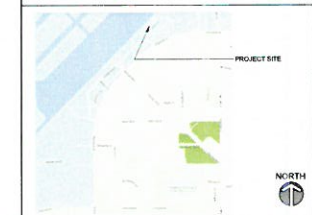
### APPLICABLE CODES

- APPLICABLE CODES & STANDARDS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- TITLE 24, PART 1, 2018 BUILDING STANDARDS ADMINISTRATIVE CODE
  - TITLE 24, PART 2, 2018 CALIFORNIA BUILDING CODE (CBC)
  - TITLE 24, PART 3, 2018 CALIFORNIA ELECTRICAL CODE
  - TITLE 24, PART 4, 2018 CALIFORNIA MECHANICAL CODE
  - TITLE 24, PART 5, 2018 CALIFORNIA PLUMBING CODE
  - TITLE 24, PART 6, 2018 CALIFORNIA THERMO CODE
  - TITLE 24, PART 7, 2018 CALIFORNIA FIRE CODE
  - TITLE 24, PART 11, 2018 CALIFORNIA GREEN BUILDING STANDARDS
  - TITLE 19, PUBLIC SAFETY, STATE FIRE MARSHAL
  - AMERICAN WITH DISABILITIES ACT (ADA) LATEST EDITION

### PROJECT DATA

ADDRESS	18654 READINESS ST VICTORVILLE, CA 92301
APN	0489-043-29
CODE ENFORCEMENT JURISDICTION	CITY OF VICTORVILLE
EXISTING USE	AIRCRAFT HANGER / OFFICE
PROPOSED USE	AIRCRAFT HANGER / OFFICE
YEAR CONSTRUCTED	1942
ZONING MAP	BASE ZONE: ASF

### VICINITY MAP



### ARCHITECT

DELAWIE  
1515 MORENA BLVD.  
SAN DIEGO, CA 92109

TEL: 619.294.6690  
FAX: 619.292.6513  
CONTACT: MICHAEL ALBERT, PRINCIPAL  
MICHAEL ALBERT, PROJECT ARCHITECT

### Mechanical / Plumbing

DEC ENGINEERS, INC.  
7545 CARROLL ROAD, SUITE 109  
SAN DIEGO, CA 92121

TEL: 619.578.3270  
FAX: 619.578.3270  
CONTACT: GREG VECA, PROJECT ENGINEER

### GENERAL CLIENT

GENERAL ATOMICS  
2300 EAST AVE. B-8  
PALMDALE, CA 93550

TEL: 661.733.2504  
FAX: 661.733.2504  
CONTACT: KEN ANDERSON, PROJECT MANAGER

### ELECTRICAL

MFC CONSULTING  
10500 CARROLL CANYON RD, SUITE 203  
SAN DIEGO, CA 92121

TEL: 619.573.4442  
FAX: 619.573.4442  
CONTACT: MARCOS MONTANO, PROJECT ENGINEER

### SHEET COUNT

DISCIPLINE	COUNT
GENERAL	2
ARCHITECTURAL	2
INTERIOR	1
PLUMBING	4
Mechanical	4
ELECTRICAL	5
GRAND TOTAL	20

### PLUMBING FIXTURE TABULATION

ROOM OR SPACE	AREA(SF)	LOAD FACTOR	PERSONS	MALE WC	MALE UR	MALE LAVS	FEMALE WC	FEMALE LAVS	DRINKING FOUNTAIN	MOP SINKS
GROUP B	4,362 SF	1P/200 SF	32	1	1	1	2	1	1	1
GROUP S-1	15,354 SF	1P/5,000 SF	4	1	-	1	1	1	-	-
<b>TOTALS REQUIRED</b>				2	1	2	3	2	1	1
<b>TOTALS PROVIDED</b>				2	2	4	5	4	1	1

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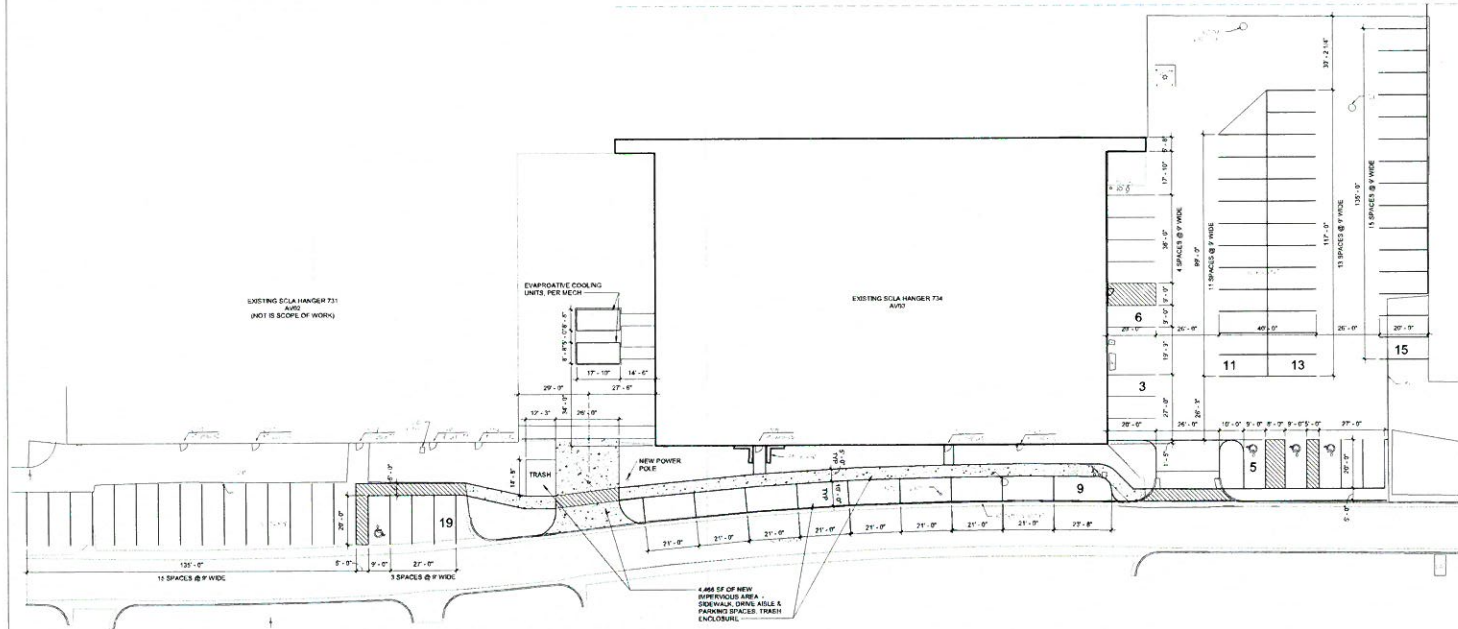
PROJECT NAME AND ADDRESS

**BUILDING AV03 / HANGAR 734 TI**  
18654 READINESS ST  
VICTORVILLE, CA 92301

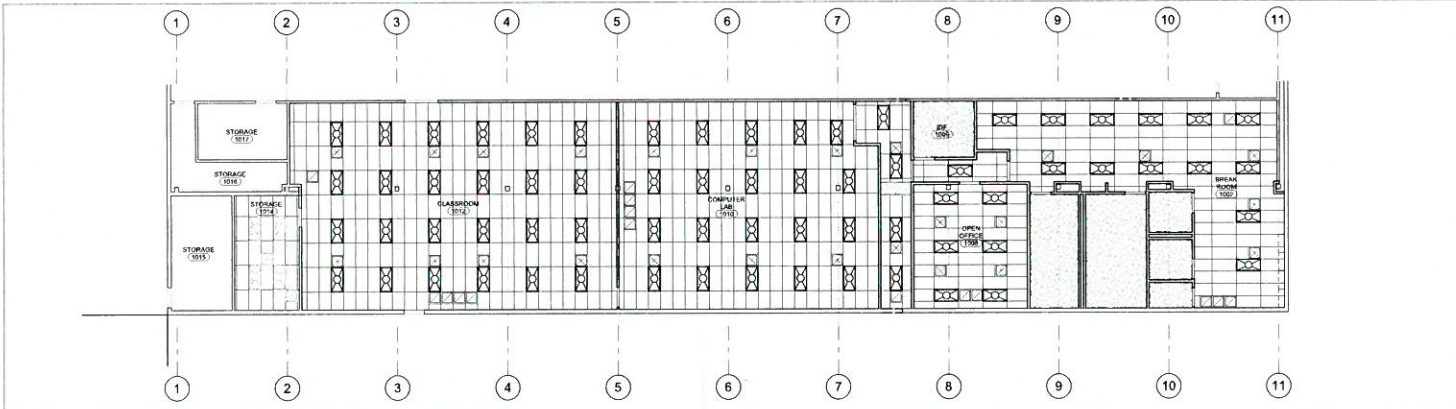
#	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	04/15/19

DRAWN BY	
AUTHOR	
PROJECT NUMBER	1972
DRAWING SCALE	1" = 20'-0"
SHEET TITLE	SITE PLAN

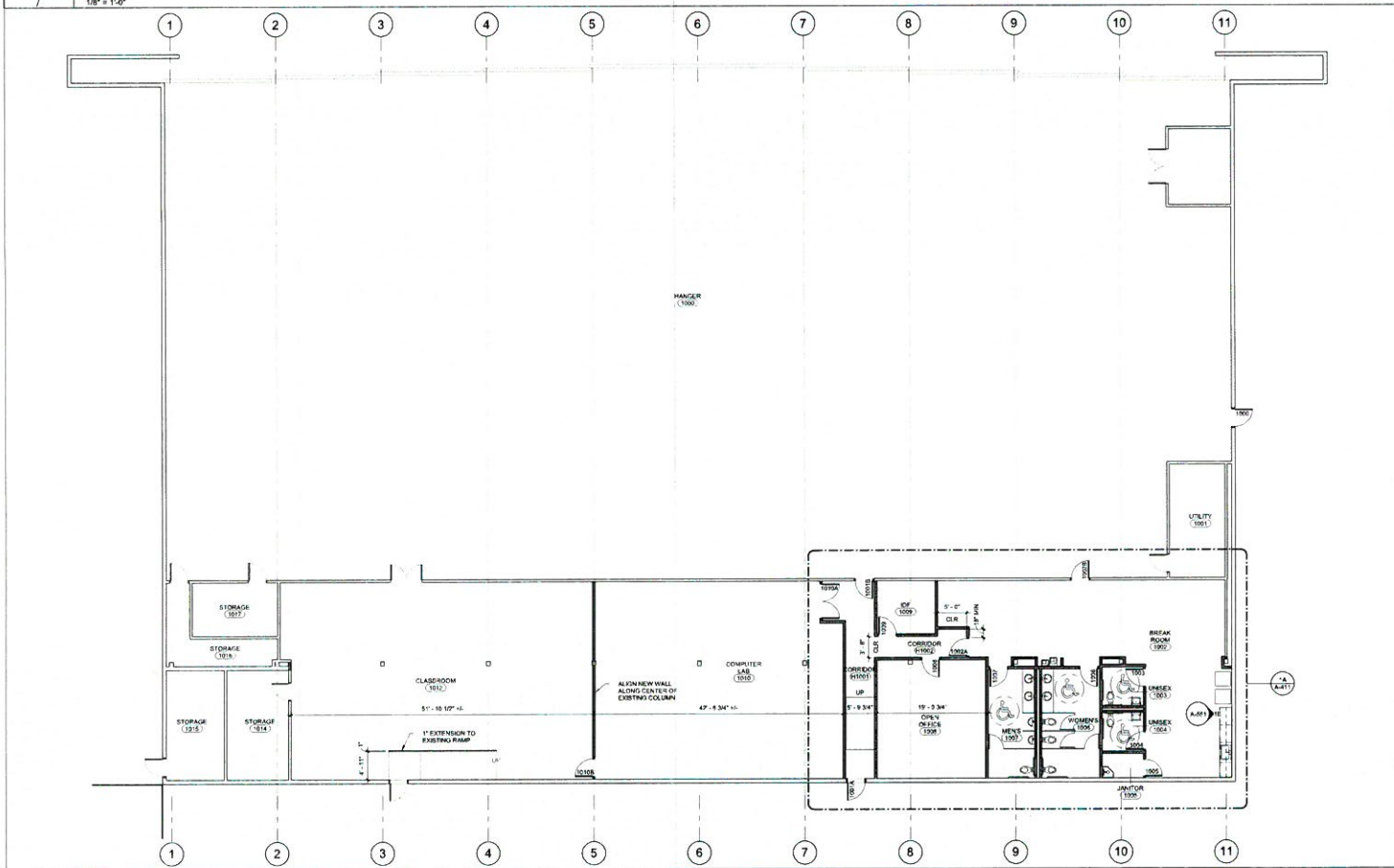
SHEET NUMBER  
**AS-101**



**1A SITE PLAN**  
1" = 20'-0"



**1D LEVEL 01 - PARTIAL REFLECTED CEILING PLAN**  
1/8" = 1'-0"



**1A LEVEL 01 - FLOOR PLAN**  
1/8" = 1'-0"

**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- ARCHITECTURAL DRAWINGS SHALL GOVERN THE LOCATION OF ALL CEILING MOUNTED LIGHT FIXTURES, MECHANICAL GRILLES AND ETC. ITEMS. CONTRACTOR TO NOTIFY ARCHITECT OF POTENTIAL CONFLICTS. CONTRACTOR TO PROVIDE FROM HIS OWNERS' ARCHITECT'S APPROVAL.
- SEE MECHANICAL REFLECTED CEILING PLAN FOR THE LOCATION OF ALL RECESSED LIGHT FIXTURES AND LIGHT FIXTURES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PLANS TO ARCHITECT FOR ARCHITECT'S APPROVAL OF INSTALL LOCATIONS FOR FIRE SPRINKLER HEADS, FIRE STROBES AND SMOKE DETECTORS.
- SEE SHEET A-111 FOR CEILING DETAILS.
- CONTRACTOR TO COORDINATE AND CENTER LIGHT FIXTURES, FIRE SPRINKLERS, FIRE LIFE SAFETY DEVICES, SPEAKERS, AND OTHER CEILING DEVICES IN LAY-OUTING THE FIRE DETAIL OF A-111.
- REFER TO DETAIL A-111 FOR LIGHT AND MECHANICAL CEILING FIXTURE ANCHORING REQUIREMENTS.
- CONTRACTOR TO RELOCATE ANY EXISTING CEILING ACCESS PANELS THAT LOCATED WITHIN THE CEILING. CONTRACTOR TO VERIFY WITH ARCHITECT NEW LOCATIONS PRIOR TO INSTALLATION.
- SEE SHEET 1111 FOR FINISH SCHEDULE. ALL GYPSUM AND T&E TO BE ACT-1. ALL GYPSUM BOARD CEILING TO BE HANDBRAKE UNDO.
- BY CONTRACTOR TO COORDINATE AND CONFIRM WITH ARCHITECT LOCATION OF ANY CEILING PANELS TO BE INSTALLED.
- PROVIDE SOLID BACKING PLATE FOR FIRE FIXTURES OVER 48 INCH.
- CEILING INSTALLER SHALL NOT RUN CEILING SUPPORT WIRES THROUGH CABLE TRAYS.
- CEILING GRILLS ARE TO BE CENTERED IN ROOMS IN TWO DIRECTIONS, U.O.C.
- ALSO EXT STONE WITH LIGHT FIXTURES AT CORNERS.
- ROOM BRACES ARE REQUIRED TO LIMIT LATERAL DEFLECTION IN ALL ROOMS.
- TO MINIMIZE THE NEED FOR 2" BRIMS AT SPRINKLER HEADS.
- ALL DUCT AND PIPING SYSTEMS SUPPORTS TO COMPLY WITH SMACNA GUIDELINES.

**LEGEND**

- EXISTING SUSPENDED CEILING TO REMAIN
- EXISTING GYPSUM BOARD CEILING TO REMAIN
- NEW SUSPENDED LAY-IN CEILING PANEL SYSTEM
- NEW GYPSUM BOARD CEILING
- LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- FOR REGISTER TYPES, SEE MECHANICAL DRAWINGS

**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- REFER TO TYPICAL FINISH SCHEDULE. ALL NEW WALLS ARE TO BE FRAMED TO MFR/ANNE STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
- REPAIR ALL GYP. BS. NOT REMOVED IN AREA OF WORK TO LIKE NEW CONDITION. ALL EXPOSED GYP. BS. TO RECEIVE 1/2" X 1/2" FRESH UNDO.
- PROVIDE 1/2" THICK NOISE DAMPPING PUTTY (ACOUSTICAL UNDERLAYMENT) ON ALL CEILING AND WALL JOINTS AT CONCRETE WORK. PRODUCTS SHALL BE MODEL 88 BILLS QUOTE PUTTY MANUFACTURED BY GULF ROOF.
- ALL DOORS ARE EQUAL TO OR GREATER THAN THE MINIMUM SIZE OPENING REQUIRED BY CODES OF 2018 IBC, BOON SCHEDULE A-111.
- PROVIDE 1/2" THICK GYP. BOARD COMPARTMENT WITH 2018 IBC, BOON SCHEDULE A-111. SEE MEANS OF EGRESS PLANS FOR QUANTITY, LOCATION AND FOR DETAILS. ALL WALLS TO BE 5/8" GYP.
- SEE FINISH SCHEDULE A-111.
- PROVIDE BRACES FOR ALL WALLS AND MOUNTED ITEMS PER MANUFACTURER'S RECOMMENDATIONS.
- COORDINATE ELECTRICAL CONNECTIVITY WITH FURNITURE CASEWORK LAYOUT AND PFAE EQUIPMENT REQUIREMENTS.

**REFERENCE KEYNOTES**

NUMBER	KEYNOTE TEXT
1	NEW WALL FOR A-111. ALL WALLS TYPE 'A' UNLESS NOTED OTHERWISE.
2	NEW DOOR PER SCHEDULE A-111.
3	FIRE EXTINGUISHER CABINET.
4	GYP BS CONTROL JOINT, SFF.

**LEGEND**

- EXISTING WALL
- NEW WALL FOR A-111. ALL WALLS TYPE 'A' UNLESS NOTED OTHERWISE
- NEW DOOR PER SCHEDULE A-111
- FIRE EXTINGUISHER CABINET
- GYP BS CONTROL JOINT, SFF



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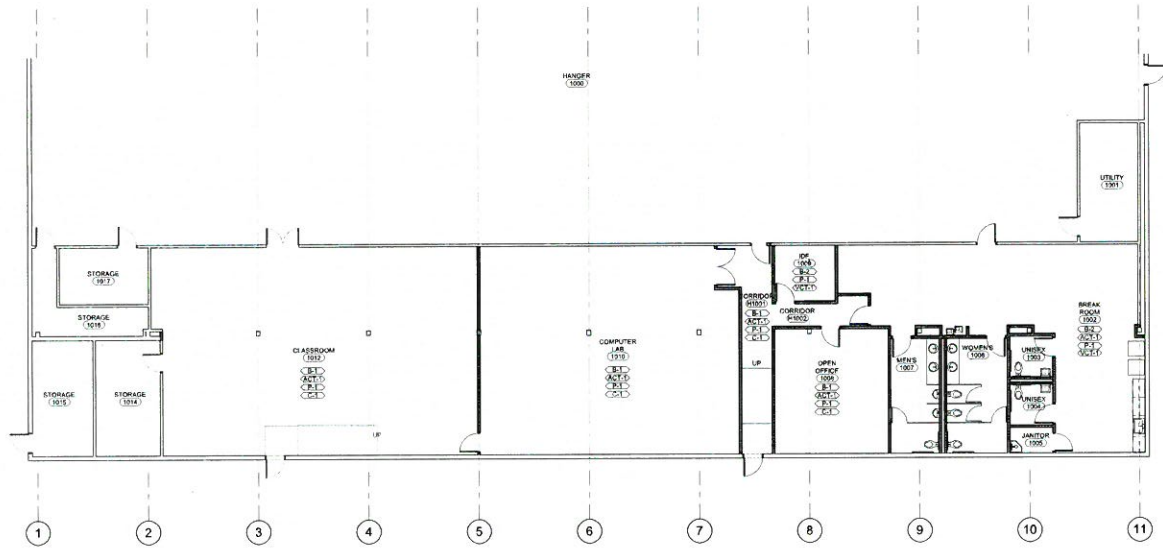


**BUILDING AV03 / HANGAR 734 T1**  
**18654 READINESS ST**  
**VICTORVILLE, CA 92301**

#	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	04/15/19

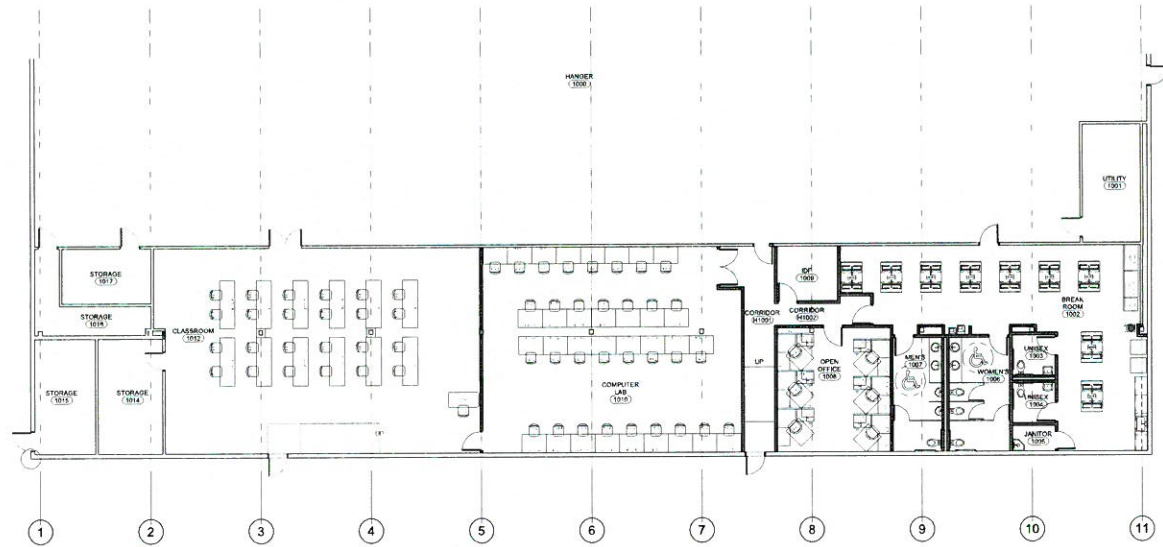
  

DRAWN BY	Author
PROJECT NUMBER	1812
DRAWING SCALE	As indicated
SHEET TITLE	FLOOR PLAN & REFLECTED CEILING PLANS
SHEET NUMBER	A-111



**1C** LEVEL 01 - FINISH PLAN

1/8" = 1'-0"



**1A** LEVEL 01 - FURNITURE PLAN

1/8" = 1'-0"

**BASE (096513)**

- B-1** MANUFACTURER: FURKE  
PROFILE: STRAIGHT RUBBER  
COLOR: #7 GRAY #8 LIE  
SIZE: 2" HIGH  
NOTE: BASE TO BE ROLLED GOODS (NOT PRE-CUT) TO  
CONTACT: (UNRAZ) SLANG
- B-2** MANUFACTURER: FURKE  
PROFILE: LOW RUBBER  
COLOR: #7 GRAY #8 LIE  
SIZE: 1 1/2" HIGH  
NOTE: BASE TO BE ROLLED GOODS (NOT PRE-CUT) TO  
CONTACT: (UNRAZ) SLANG

**CARPET (096813)**

- C-1** MANUFACTURER: TANDUS CENTRA  
STYLE: PASADENA 3535  
COLOR: NORTH SEA 1 1925  
SIZE: 48" X 36"  
NOTE: INSTALL METHOD: OFFICE CLASSROOM  
LOCATION: NA  
CONTACT: NA

**CEILING (095113)**

- ACT-1** MANUFACTURER: ARMSTRONG  
SERIES: FINE FIBRE (MULTI) SECOND LOOK  
COLOR: REGULAR  
SIZE: 24" X 24"  
NOTE: LIGHT REFLECTANCE: 85% ANGLED REGULAR 11  
FIRE RATING: 0-3  
GRID SYSTEM: NA  
HANGERS: STANDARD PRELUM  
COLOR: WHITE (WH)  
SIZE: 12" X 12"  
LOCATION: BREAK ROOM, CONF. ROOM, COLAB AREA  
NOTE: PROVIDE HEAVY-DUTY SUSPENDED CEILING  
1/8" X 1/8" SYSTEM

**FLOOR TRANSITIONS (096513)**

- FT-1** MANUFACTURER: SURKE  
STYLE: 3/4" BED/CLIP STRIP  
COLOR: 02 GRAY BLUE  
NOTE: CARPET TO VC101

**FRP (097720)**

- FRP-1** MANUFACTURER: MARLITE  
STYLE: STANDARD FRP  
COLOR: P-36 WHITE  
NOTE: ABSOLUTE WHITE PVC TRIM

**HARDWARE (087100)**

- HW-1** ITEM: LUM  
MANUFACTURER: LUM  
COLLECTION: NA  
MODEL: NA  
SIZE: OVERALL LENGTH 4"  
FINISH: SATIN CHROME

**PAINT (099123)**

- P-1** MANUFACTURER: DUNN EDWARDS  
COLOR: PE SPEC WHITE SHADOW  
FINISH: VELVET  
NOTE: SUPREMA  
CONTACT: NA

**PLASTIC LAMINATE (064116)**

- PL-1** MANUFACTURER: FORMICA  
COLOR: 4900-N NATURAL CANE  
FINISH: WHITE  
LOCATION: CABINETS

**RESILIENT FLOORING (096579)**

- VF-1** MANUFACTURER: ARMSTRONG  
SERIES: STANDARD EXCELON IMPERIAL TEXTURE  
COLOR: S1012 BLUE CLOUD  
SIZE: 12" X 12" X 1/8"  
LOCATION: LAB OFFICE AREA, BREAK ROOM

**SOLID SURFACE (123661)**

- SL-1** MANUFACTURER: LIVINGSTONE SOLID SURFACE  
COLOR: SANTA FE  
THICKNESS: 1/2"  
SERIES: NA  
LOCATION: BREAK ROOM  
CONTACT: NA

**TOILET PARTITIONS (102113)**

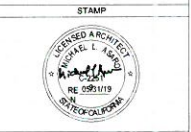
- TP-1** MANUFACTURER: BORNICK  
COLOR: B/C/A  
THICKNESS: 1/2"  
SERIES: DURALINE  
LOCATION: RESTROOMS  
CONTACT: NA



1200 SPRINGWAY  
POWAY, CA 92064

**PROPRIETARY INFORMATION**

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PROJECT NAME AND ADDRESS

**BUILDING AV03 / HANGAR 734 T1**  
**18654 READINESS ST**  
**VICTORVILLE, CA 92301**

#	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	04/15/19
DRAWN BY		
Author		
PROJECT NUMBER		
1827		
DRAWING SCALE		
As indicated		
SHEET TITLE		
<b>FURNITURE PLAN &amp; FINISH SCHEDULE</b>		
SHEET NUMBER		
<b>1-111</b>		

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STAMP



PROJECT NAME AND ADDRESS

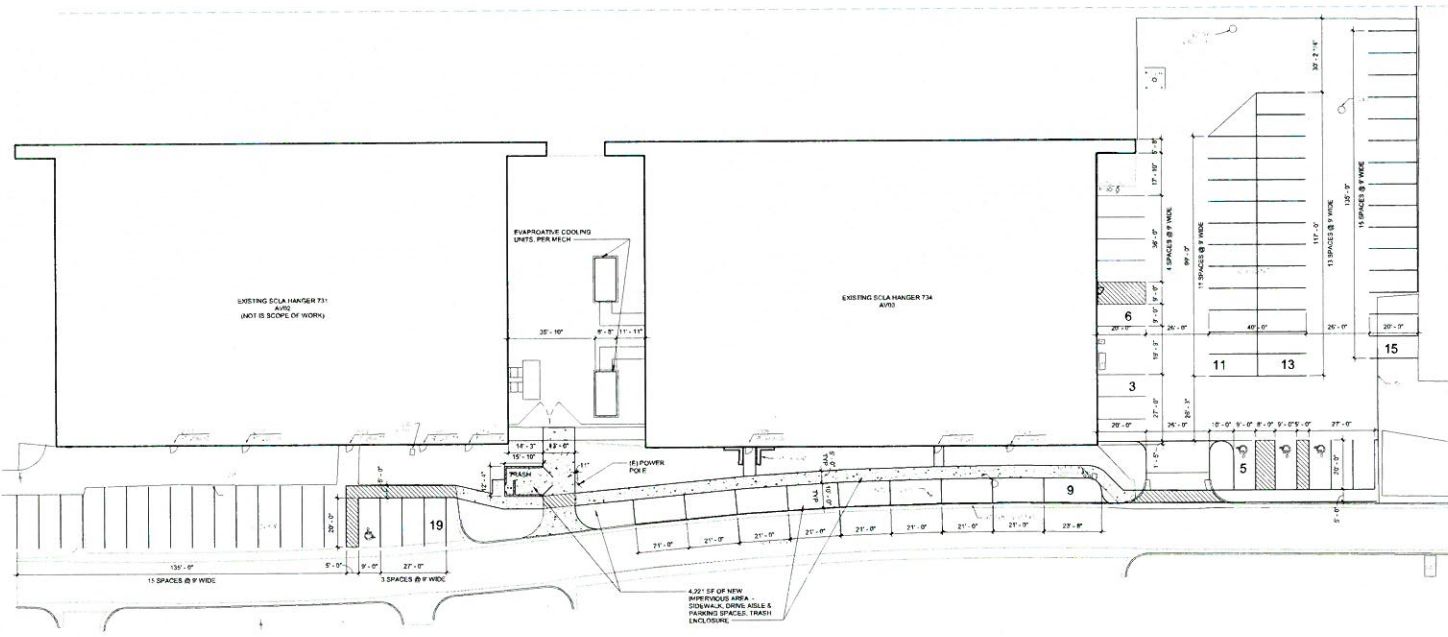
**BUILDING AV03 / HANGAR 734 T1**  
18654 READINESS ST  
VICTORVILLE, CA 92301

#	DESCRIPTION	DATE
	30% CD REVIEW SET	02/01/19
	40% CD REVIEW SET	03/18/19
	90% CD REVIEW SET	04/29/19

DRAWN BY	
AUTHOR	
PROJECT NUMBER	1872
DRAWING SCALE	1" = 20'-0"
SHEET TITLE	

**SITE PLAN**

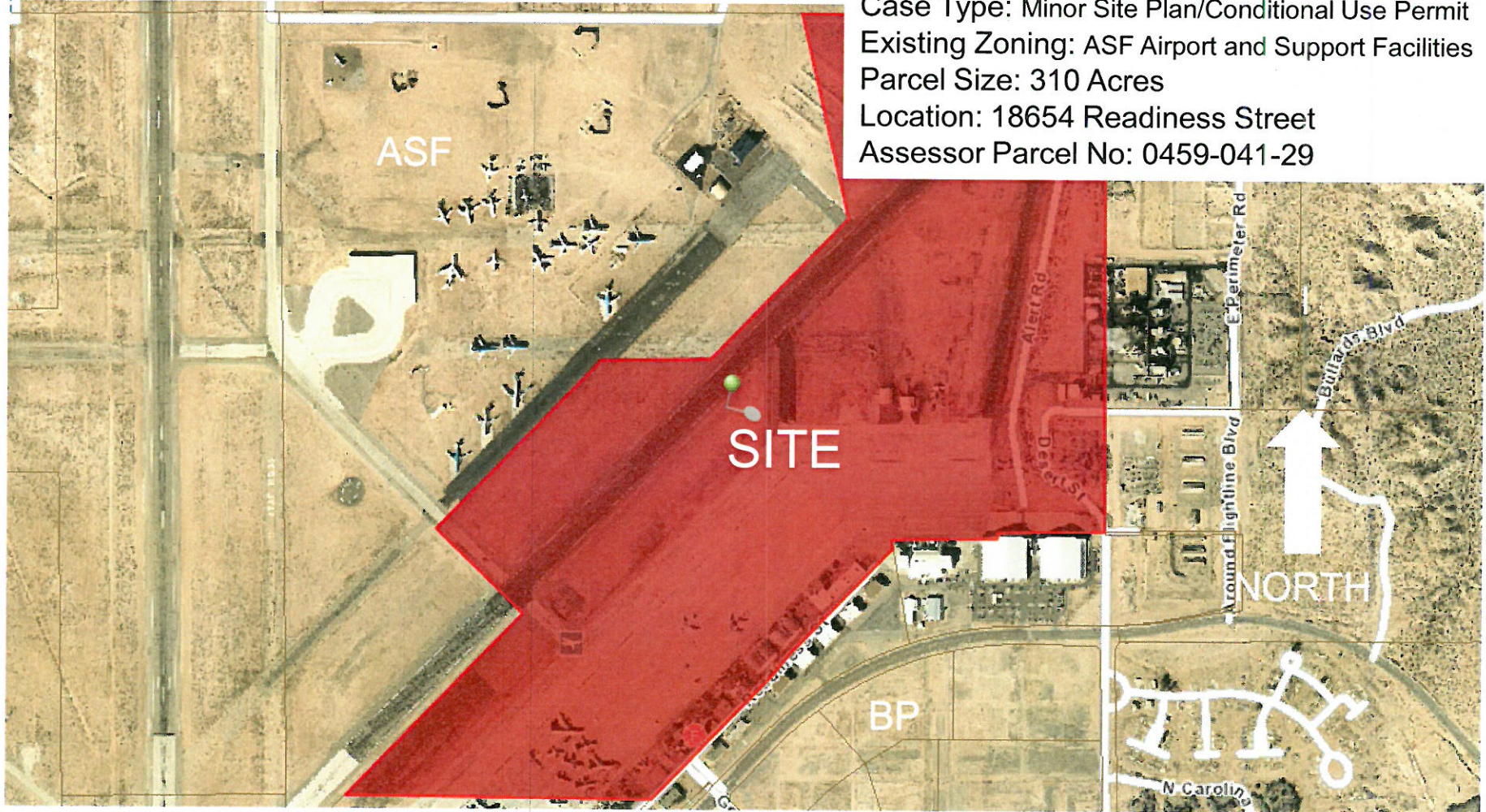
SHEET NUMBER  
**AS-101**



**1A** SITE PLAN  
1" = 20'-0"

# CASE: ADMN19-00041

Case Type: Minor Site Plan/Conditional Use Permit  
Existing Zoning: ASF Airport and Support Facilities  
Parcel Size: 310 Acres  
Location: 18654 Readiness Street  
Assessor Parcel No: 0459-041-29





# PUBLIC COMMENTS

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SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

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In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

SW:ko