

REGULAR MEETING OF THE ZONING ADMINISTRATOR
OF THE CITY OF VICTORVILLE

FEBRUARY 6, 2019
10:00 A.M.

DEVELOPMENT CONFERENCE ROOM
14343 CIVIC DRIVE

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATIONS TO PARTICIPATE IN A ZONING ADMINISTRATOR'S MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE DEVELOPMENT DEPARTMENT SECRETARY AT (760) 955-5135 NO LATER THAN SEVENTY-TWO HOURS PRIOR TO THE MEETING

CALL TO ORDER

PUBLIC HEARING

1. **MINOR CONDITIONAL USE PERMIT ADMN19-00001 – BLUE PACIFIC RESTAURANTS**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE SALE OF BEER, WINE, AND DISTILLED SPIRITS AT AN EXISTING RESTAURANT

LOCATION – 12748 AMARGOSA ROAD SUITE #7

PUBLIC COMMENTS

ADJOURNMENT

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PUBLIC HEARINGS

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ZONING ADMINISTRATOR STAFF REPORT

DATE: FEBRUARY 6, 2019 **AGENDA NO. 1**

CASE: ADMN19-00001

SUBJECT: A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE SALE OF BEER, WINE, AND DISTILLED SPIRITS AT AN EXISTING RESTAURANT

APPLICANT: BLUE PACIFIC RESTAURANTS

LOCATION: 12748 AMARGOSA ROAD SUITE #7

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve case ADMN19-00001 subject to the recommended conditions.

II. SUMMARY:

The applicant is requesting approval of a Minor Conditional Use Permit in order to allow for full service alcohol sales in conjunction with an existing restaurant. The site is located within a multi-tenant commercial center and the restaurant currently serves beer and wine. If approved, the site will continue the over-concentration of census tract 99.10 (see Attachment 'C') with on-sale alcohol licenses as defined by the California Department of Alcoholic Beverage Control (ABC) since three on-sale licenses are permitted and six exist, including the current site. However, Staff has included Conditions that limit business hours and regulate alcohol sales as noted in the "Business Operations" discussion in accordance with previous Planning Commission and Zoning Administrator approvals in an effort to ensure the location remains a restaurant and does not transform into a bar/nightclub.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for projects involving the permitting of private structures involving no expansion of use. The use of a restaurant with alcohol sales for on-site consumption will not constitute an expansion of use as major construction activities or other expansions are not proposed, and because the site is currently occupied by a restaurant with beer and wine sales.

2. Minor Conditional Use Permit.

Business Operations

- Although the submitted floor plan does not indicate the square footage or the number of seats, the restaurant is approximately 1/3 dining area, while the remainder of the building consists of the kitchen, storage, coolers and restrooms.
 - Based on the typical restaurant operations along “Restaurant Row” and other areas (Attachment ‘B’), the Title 16 definition of a restaurant (see “Title 16” discussion below), the ABC description of type 47 “On Sale General – Eating Place” licenses, as well as previous approvals by the Planning Commission, Staff has included Conditions 9 – 24, in a effort to ensure the operations do not transform into bar and/or nightclub atmosphere during late night hours. These conditions include limited hours of operation, use restrictions, and required ABC license type.

Title 16

- Title 16 defines a restaurant as a *“bona fide eating place whose predominant function is the service of food and where alcoholic beverages are incidental. Incidental in this context means a restaurant with alcohol sales totaling less than twenty-five (25%) percent of all gross sales.”* Although a restaurant (meeting the definition above) selling beer and wine only would be exempt from the requirement of a Conditional Use Permit as outlined in Section 16-3.07.020(a)(1), a Conditional Use Permit is required due to the proposals request for full alcohol sales.
- A Finding of Public Convenience or Necessity (FPCN) will be required to be made by the ABC since the site is located within a census tract (which includes the Mall of Victor Valley) that will remain over-concentrated with “on-sale” ABC licenses since 3 “on-sale” licenses are permitted and 6 are currently active (Attachment ‘C’). Of the six existing licenses, two are limited to beer & wine, including the existing site, while the remaining licenses authorize beer, wine & distilled spirits. Since the proposal will provide beer, wine & distilled spirits for on-site consumption in a restaurant, and due to the limited number of establishments offering distilled spirits for on-site consumption in the subject census tract, Staff finds that the proposal will serve public convenience and has no objection to ABC making a FPCN.

Site Condition

- The site is fully developed with street improvements, paved parking areas, landscaping, and underground utilities. Generally, the site is in satisfactory condition and does not require any maintenance measures.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
 - Comment: The underlying C-2 (General Commercial) zoning of the property conditionally permits full service alcohol sales in conjunction with a restaurant

and the businesses sale of distilled spirits will serve public convenience. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.

- *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of Commercial with a Zone District that conditionally allows for the proposed use. Additionally, the Vision for the Land Use Element of the General Plan notes that a “*Separation of incompatible land uses and integration of complementary ones*” and “*Locations for commercial uses with strong vehicular and pedestrian access*” are characteristics of the Vision for Victorville. Since the proposal is located across the Oro Grande Wash, but within 600 feet of a sensitive land use (R-1 single-family residential), and due to the sites location within a developed commercial center abutting an Arterial Roadway (Amargosa Road), Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.
- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: Since the location is an existing restaurant with no major traffic impacts, and due to the sites location within a developed commercial center abutting an Arterial Roadway (Amargosa Road), the proposal will not overload the capacity of the surrounding street system and will not create a hazard to public safety.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
 - Comment: The existing site is fully developed, including improvements in accordance with current Municipal Code requirements. Additionally, full service alcohol sales in conjunction with a restaurant is listed as a conditional use within the underlying zoning of the site within 600 feet of a sensitive land use. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Multi-tenant Commercial Building	Commercial	C-2	N/A
North	Restaurant	Commercial	C-2	N/A
South	Furniture Store	Commercial	C-2	N/A
East	I-15 Freeway	N/A	N/A	N/A
West	Oro Grande Wash Single-Family Homes	Low Density Residential	R-1	N/A

NUMBER OF RADIUS LETTERS MAILED: 18

Attachments:

Attachment 'A' – Site Plan

Attachment 'B' – City of Victorville Restaurant Operations

Attachment 'C' – California Department of Alcoholic Beverage Control Information

Attachment 'D' – Aerial Image

MJS

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL
ADMN19-00001
February 6, 2019

Planning Conditions:

1. This approval is to allow for full service alcohol sales in conjunction with a restaurant located at 12748 Amargosa Road Suite #7. Operating standards, including business hours, use restrictions, and California Alcoholic Beverage Control licensure type shall be as designated within the following Conditions of Approval. The Zoning Administrator may allow revised hours of operation and/or accessory uses not listed in this approval, providing the approved use does not change and the changes do not negatively affect the public health, safety, and welfare nor cause nonconformance with findings required by Section 16-3.02.050 of the Development Code.
2. The proposed use shall comply with all applicable development standards of Title 16.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this conditional use permit, unless modification is required to comply with the applicable development standards of Title 16, and/or conditions of approval.
4. Any expansion of this proposed use beyond the scope of this conditional use permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
6. Approval of the Conditional Use Permit shall not abrogate the applicant from obtaining all necessary licenses for alcoholic beverage sales from the Department of Alcoholic Beverage Control.
7. Any non-compliance with this Conditional Use Permit and/or any subsequent Alcohol Beverage License's issued on the premises shall cause immediate revocation of this Conditional Use Permit and the user's Business License.
8. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
9. The hours of operation shall be limited to 10:00 a.m. to 9:00 p.m. Sunday thru Thursday, and 10:00 a.m. to 10:00 a.m. Friday and Saturday. Sales, service and consumption of alcoholic beverages shall cease 30 minutes before closing on each night. When a national holiday is celebrated on a Monday, then Sunday operational hours are permitted to match those of Friday and Saturday.
10. The subleasing or renting out of the entire facility is prohibited.

11. The restaurant shall not include a stage of any kind, unless approved on a temporary basis in conjunction with a Temporary Use Permit approved by the Zoning Administrator.
12. Alcoholic beverages are only to be sold and/or provided by the licensed business at the location. Outside alcohol provided by patrons or other vendors is prohibited.
13. Minors, under the age of 18 years, shall not be on the premises after 10pm, unless accompanied by their legal guardian.
14. A full food menu shall be available during business hours.
15. Alcohol sales shall total less than twenty-five (25%) of all gross sales on-site.
16. No live entertainment shall be offered within the business, including but not limited to bands, singers, karaoke, disc jockeys, dancers, or comedians, without first obtaining a discretionary modification to the Conditional Use Permit and/or Temporary Use Permit.
17. Exterior or off-site advertising intended to bring customers to the restaurant exclusively or primarily for the consumption of beer, wine or alcohol is prohibited except for advertising related to a champagne brunch.
18. The facility shall remain a restaurant and maintain a type 47 Department of Alcoholic Beverage Control license (bona fide eating place) at all times and not become strictly a bar.
19. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.
20. There shall be no "stacking" of alcoholic drinks, i.e., no server shall deliver more than one alcoholic drink at a time, to a single patron.
21. Employees shall be advised in writing by the Applicant and/or business owner that they are prohibited from consuming any alcoholic beverages during their work shift, and that the penalty for doing so may be suspension or termination of their employment.
22. An incident log shall be maintained at the licensed premises on a continual basis with at least one year of entries and be readily available for inspection by a police officer. The log is for recording any physical altercations, injuries, and objectionable conditions that constitute a nuisance occurring in, on, or at the licensed premises, including the immediately adjacent area that is owned, leased, or rented by the licensee. The log will indicate date, time, description of incident, and action taken. "Objectionable conditions that constitute a nuisance" means disturbance of the peace, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, loitering, public urination, lewd conduct, drug trafficking, or excessive loud noise.
23. Install a closed circuit television system capable of readily identifying facial features, and stature of all patrons entering the establishment during hours of operation. Cameras are to be recorded and a minimum of a 9-day library of events shall be kept and available for inspection by the Victorville Police Department.
24. Special events and/or any use proposed outdoors shall be required to obtain Temporary Use Permit or Conditional Use Permit Modification at the discretion of the City Planner.

25. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
26. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
27. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Building/Fire Conditions:

28. Shall comply with all current Building and Fire Code requirements based on occupancy classification.

NOTES FOR POS SYSTEM

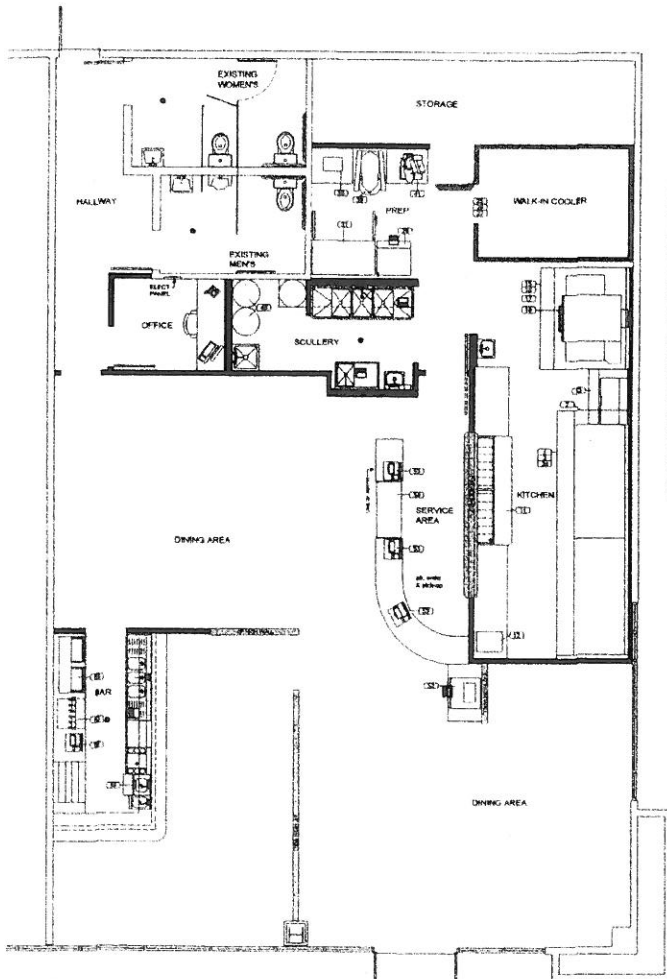
1. ALL POS LOCATIONS TO BE ON ISOLATED GROUND OUTLETS. SEPARATE GROUND WIRE TO BE RUN FROM EACH OUTLET AND ATTACHED TO A SEPARATE GROUND TRAIL OR A GROUND ROD. ALL LOCATIONS SHOULD BE GROUNDING TOGETHER.
2. PROVIDE SEPARATE 3/4" CONDUIT FOR EACH TERMINAL TO A CONCENTRATOR. PROVIDE SEPARATE 3/4" CONDUIT FOR EACH PRINTER TO THE APPROPRIATE TERMINAL LOCATION.
3. VERIFY ALL LOCATIONS AND CONDUIT REQUIREMENTS WITH OWNER'S OR POS SYSTEM INSTALLER PRIOR TO CONSTRUCTION.

GENERAL ELECTRICAL NOTES

1. THE BOTTOM OF 15-20 AND 30 AMP RECEPTACLE OUTLETS, PANELED COMPARTMENT OUTLETS, (RFD) BY REGIONS 210-26 (A), (B) AND (C) SHALL BE INSTALLED NOT LESS THAN 10' CLEARANCE FROM THE FLOOR OR WORKING PLATFORM. SEE ELECTRICAL SYMBOL LIST.
2. THE CENTER OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE APPLIANCES BY COILING, HEATING AND VENTILATING EQUIPMENT SHALL BE NOT MORE THAN 4' ABOVE THE FLOOR OR WORKING PLATFORM.
3. ALL EXTERIOR JUNCTIONS SHALL BE WEATHERPROOF.
4. EACH FITTING IN SUSPENDED CEILING TO BE SUPPORTED WITH 1/2" DIA WIRE AT OPPOSITE CORNERS.
5. ALL EQUIPMENT SHALL BE U.S. LISTED AND INSULATED AS PER MANUFACTURER'S SPECS. FOR ALL EQUIPMENT.
6. HARDWARE OR PROVIDE PROPER CORDS, CAPS AND ACCEPT AS PER MANUFACTURER'S SPECS. FOR ALL EQUIPMENT.
7. PROVIDE NON-FUSIBLE SWITCHES FOR ALL EQUIPMENT AS REQUIRED BY CODE AND MANUFACTURER'S SPECS.
8. VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
9. CONDUIT TO BE UNDER ALL LIGHTING COLES, HEATERS AND SOLENOIDS SUPPLIED BY WALK-IN MANUFACTURER. SEAL OFF CONNECTIONS AT ALL PENETRATIONS THROUGH WALK-IN OUTER WALL.
10. USE 1/2" QUANTITY #12 BARE CONDUIT AND CONNECTORS ON ALL KITCHEN AND SCULLERY EQUIPMENT TO MAKE HARDWARE CONNECTIONS.
11. PROVIDE IF NOT EXISTING (1) 1/2" V. OUTLET WITH G.P.F. WITHIN ALL 20' OF ROOF MOUNTED MECHANICAL EQUIPMENT.
12. PROVIDE IN-LINE SWITCHING AT ALL DAY-LIT AREAS.
13. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
14. ALL EQUIPMENT SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
15. ALL ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL BE LISTED FOR EXTERIOR USE.
16. PROVIDE GROUNDING PER NEC 250-122.

Item	Description	Model	Qty	ELECTRICAL		PLUMBING		Notes
				Vol	Amps	Flow	Size	
KITCHEN								
1	12V 6" TYPE I DISMANT HOOD 24"	CAPTIVARE	1	120	15	0		SEE SHT A.1, C.1, B.1
2	FAN 1/2 HP	CAPTIVARE	1	120	15	0		SEE SHT A.1, C.1, B.1
3	DISMANTER R2	CAPTIVARE	1	208	3	2.7		SEE SHT A.1, C.1, B.1
4	DISMANTER R3	CAPTIVARE	1	208	3	2.7		SEE SHT A.1, C.1, B.1
11	18" POSA PREP TABLE	WALD TECH PREP 1800	1	120	1.5	1.1	F	SEE SHT A.1, A.2, E.1, F.1, E
12	18" POSA PREP TABLE	WALD TECH PREP 1800	1	120	1.5	1.1	F	SEE SHT A.1, A.2, E.1, F.1, E
13	18" POSA PREP TABLE	WALD TECH PREP 1800	1	120	1.5	1.1	F	SEE SHT A.1, A.2, E.1, F.1, E
14	36" 4" x 6" TYPE I EXHAUST HOOD	CAPTIVARE	1	120	15	0		SEE SHT A.1, C.1, B.1
15	36" 4" x 6" TYPE I EXHAUST HOOD	CAPTIVARE	1	120	15	0		SEE SHT A.1, C.1, B.1
17	36" 4" x 6" TYPE I EXHAUST HOOD	CAPTIVARE	1	208	3	2.7		SEE SHT A.1, C.1, B.1
18	POZA DRAIN	GENERAL 2000	1	120	1.5	0		SEE SHT A.1, A.1, E.1, F.1, E
SCULLERY								
25	16" 1/2" x 1/2" x 1/2" WALK-IN COOLER	BRWA COOLERS	1	120	1	0		SEE SHT A.1, C.1, D(1)
26	16" 1/2" x 1/2" x 1/2" WALK-IN COOLER	BRWA COOLERS	1	120	1	0		SEE SHT A.1, C.1, D(1)
27	2" COMPRESSOR	COLD PAKE 300-2	1	120	1	0	F.S.	SEE SHT A.1, C.1, D(1)
28	ICE MACHINE	VAL-SMATIC XE8000-A	200	277	1	15	LWF	SEE SHT A.1, A.2, E.1, F.1
29	12" DRYER FREEZER	COLD TECH 1800	1	120	7/4	12.2	L	SEE SHT A.1, A.2, E.1, F.1, E
30	12" DRYER FREEZER	COLD TECH 1800	1	120	7/4	12.2	L	SEE SHT A.1, A.2, E.1, F.1, E
36	WET WOOD	FLEETWOOD WET 24	2	120	1	0		SEE SHT A.1, E.1
40	SCULLER	SCULLER	1	120	1	0		SEE SHT A.1, E.1
46	16" 1/2" x 1/2" x 1/2" WALK-IN COOLER	BRWA COOLERS	1	120	1	0		SEE SHT A.1, C.1, D(1)
SERVICE AREA								
51	SWINDLE CRY	SWINDLE	1	120	1	0		SEE SHT A.1
52	SODAL DISPENSER	DISPENSER	1	220	1	0	F.S.	SEE SHT A.1, A.1, E.1, F.1, E
53	POZA	POZA	1	120	1	0		SEE SHT A.1, E.1, F.1, E
54	1/2" 2" x 2" PAN	POZA	1	120	1	0		SEE SHT A.1, E.1, F.1, E
BAR								
62	POS	POS	1	120	1	0		SEE SHT A.1, A.1, E.1, F.1, E
63	POS	POS	1	120	1	0		SEE SHT A.1, A.1, E.1, F.1, E
64	POS	POS	1	120	1	0		SEE SHT A.1, A.1, E.1, F.1, E
68	1/2" 2" x 2" PAN	POZA	1	120	1	0	F.S.	SEE SHT A.1, A.1, E.1, F.1, E

TO ALL CONTRACTORS AND SUB-CONTRACTORS
ALL MATERIALS DIMENSIONS AND AREA
SHOWN OR NOT SHOWN ON THIS PLAN SHALL BE
REVIEWED AT THE SITE WITH OWNER AND DESIGNER
CONTRACTOR BEFORE ANY WORK COMMENCES.



ELECTRICAL SYMBOLS

EXTERIOR RECEPTACLE

- 15-20 AMP
- 30 AMP
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE

INDOOR RECEPTACLE

- 15-20 AMP
- 30 AMP
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE
- RECEPTACLE

SWITCH

- 15-20 AMP
- 30 AMP
- SWITCH
- SWITCH
- SWITCH
- SWITCH
- SWITCH
- SWITCH
- SWITCH
- SWITCH

CONDUIT

- 1/2"
- 3/4"
- 1"
- 1 1/2"
- 2"
- 3"
- 4"
- 6"
- 8"
- 10"
- 12"

WALK-IN COOLER

- 16" 1/2" x 1/2" x 1/2"
- 2" COMPRESSOR
- ICE MACHINE
- 12" DRYER FREEZER
- 12" DRYER FREEZER
- WET WOOD
- SCULLER

SERVICE AREA

- SWINDLE CRY
- SODAL DISPENSER
- POZA
- 1/2" 2" x 2" PAN

BAR

- POS
- POS
- POS
- 1/2" 2" x 2" PAN



ELECTRICAL PLAN

REVISIONS

NO.	DATE	BY

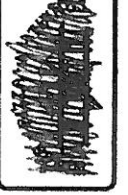
SAM LINHARDT
DESIGNER

1116 N. WILSON AVE.
SUNLAND, CALIF. 91769

INNOVATIVE CONSTRUCTION CONCEPTS

1116 N. WILSON AVE.
SUNLAND, CALIF. 91769

VICTOR VILLAGE
12748 AMARGOSA ROAD
VICTORVILLE, CA 92392



DRAWN
Sam Linhardt

DATE
1-6-97

SCALE
1/4" = ONE FOOT

SHEET

E - 1

3 OF 17 SHEETS

Operating hours of restaurants along "Restaurant Row"
(The area abutting Amargosa Road just south of Bear Valley Road)

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
Chili's	11 a.m. to 11 p.m.	11 a.m. to Midnight
Applebee's	11 a.m. to Midnight	11 a.m. to 1 a.m.
Carino's	11:30 a.m. to 10 p.m.	11 a.m. to Midnight
Roadhouse	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Pancho Villa's	11 a.m. (9 a.m. Sunday) to 10 p.m.	11 a.m. to 1 a.m.

Operating hours of other restaurants abutting Interstate 15.

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
El Tio Pepe	11 a.m. (9 a.m. on Sun.) to 10 p.m.	11 a.m. to 11 p.m.
Marie Callender's	7 a.m. to 10 p.m.	7 a.m. to 11 p.m.
Olive Garden	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Red Lobster	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Steer N' Stein	11 a.m. to 9 p.m.	11 a.m. to 9 p.m.
Tilted Kilt	11 a.m. to 11 p.m. (Sun. – Wed.)	11 a.m. to 2 a.m. (Thurs. – Sat.)

Staff notes that all restaurants included in the charts above abut Interstate 15, and therefore are tailored to serve patrons traveling through the region as well as local residents. Additionally, all restaurants noted above began operations prior to the current alcohol sales standards.

Operating hours of other restaurants within the immediate vicinity of the proposal.

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
Toto's Mexican Food	9 a.m. to 9 p.m.	9 a.m. to 9 p.m.
Soya Sushi	11:30 a.m. to 9:30 p.m. (weekdays)	Noon to 9 p.m. (weekends)
Yoshi Sushi	11 a.m. to 10 p.m. (9 p.m. on Sun.)	11 a.m. to 10 p.m.



California Department of Alcoholic Beverage Control

Save As CSV

- C -

Active On-Sale Retail Licenses

For the Census Tract of 99.10

Report as of: 01/29/2019

Rows Per Page: 25

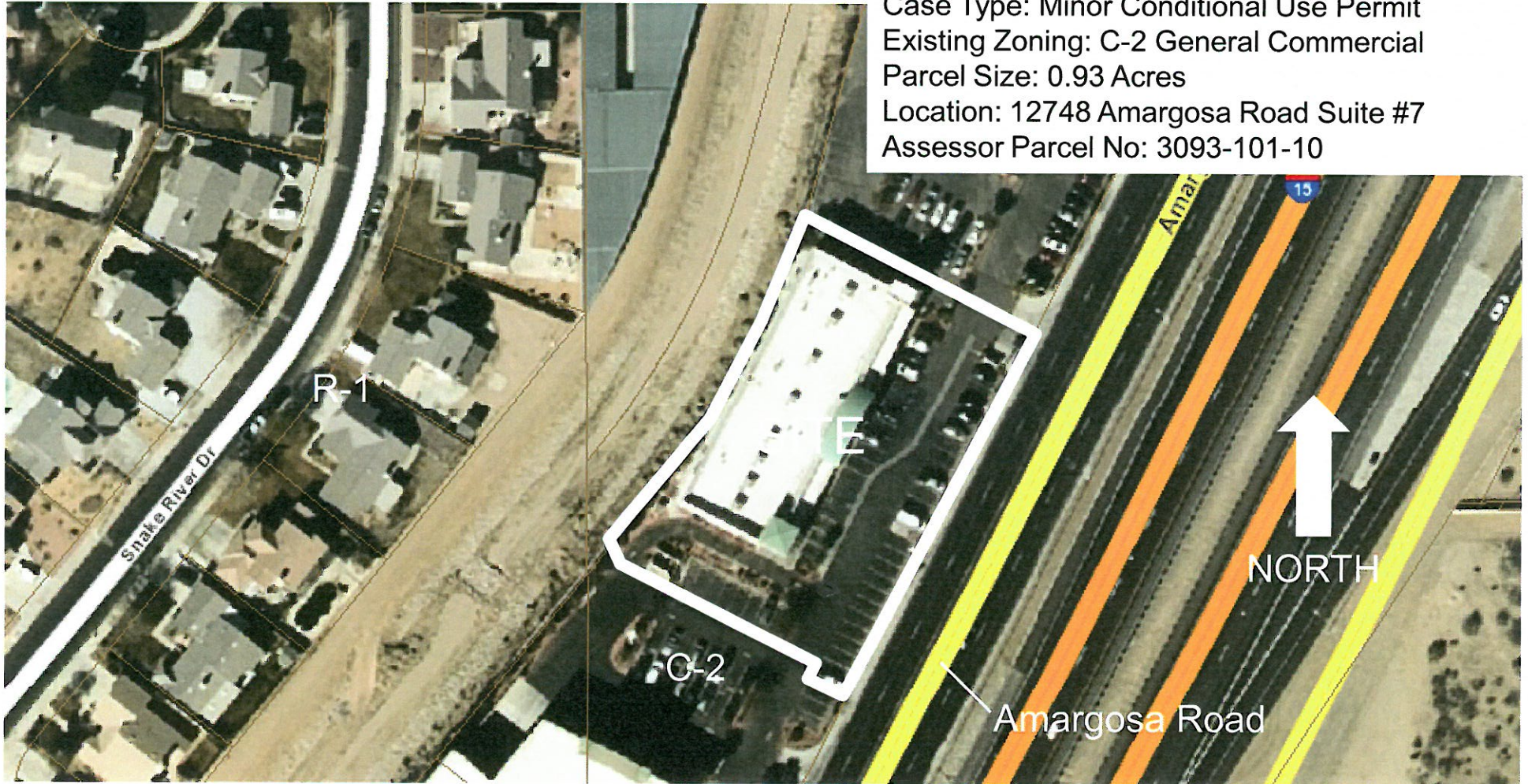
Total Licenses: 6
Page 1 of 1

Click on column header to sort

	License Number	Status	License Type	Orig. Iss. Date	Expir. Date	Primary Owner	Business Name	Premises Addr.	Geo Code
1	277681	ACTIVE	47	01/25/1993	01/31/2019	VICTORVILLE TIO PEPE INC	EL TIO PEPE MEXICAN RESTAURANT	12100 AMARGOSA RD VICTORVILLE, CA 92392 Census Tract: 0099.10	3612
2	357430	ACTIVE	41	11/22/1999	10/31/2019	CEC ENTERTAINMENT INC	CHUCK E CHEESES #356	12790 AMARGOSA RD VICTORVILLE, CA 92392 Census Tract: 0099.10	3612
3	547397	ACTIVE	47	03/19/2015	12/31/2019	RED LOBSTER HOSPITALITY LLC	RED LOBSTER #0608	12180 AMARGOSA RD VICTORVILLE, CA 92392 Census Tract: 0099.10	3612
4	564521	ACTIVE	47	03/08/2016	02/28/2019	N AND D RESTAURANTS LLC	OLIVE GARDEN ITALIAN RESTAURANT THE 1194	12330 AMARGOSA RD VICTORVILLE, CA 92392 Census Tract: 0099.10	3612
5	591031	ACTIVE	41	03/27/2018	02/28/2019	BLUE PACIFIC RESTAURANTS	GALLEY FISH TACOS THE	12748 AMARGOSA RD, STE 7 VICTORVILLE, CA 92392-7670 Census Tract: 0099.10	3612
6	596991	ACTIVE	47	10/26/2018	09/30/2019	CERCA TROVA STEAKHOUSE, L.P.	OUTBACK STEAKHOUSE	12400 AMARGOSA RD B VICTORVILLE, CA 92392 Census Tract: 0099.10	3612

CASE: ADMN19-00001

Case Type: Minor Conditional Use Permit
Existing Zoning: C-2 General Commercial
Parcel Size: 0.93 Acres
Location: 12748 Amargosa Road Suite #7
Assessor Parcel No: 3093-101-10



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PUBLIC COMMENTS

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SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

SW:ko