



Conference Room A
14343 Civic Drive
Victorville, CA
www.victorvilleca.gov

Zoning Administrator

**Regular Meeting Agenda
Wednesday, June 5, 2024**

10 a.m. Regular Meeting

The Zoning Administrator welcomes and encourages public participation and invites the community to attend in person.

Public Comments: Members of the public may submit comments electronically to planning@victorvilleca.gov. All email comments received by 3 p.m. the day before the meeting will be distributed to the Zoning Administrator. Participants are invited to address the Zoning Administrator on agendized and non-agendized topics. Public comments will be no longer than three (3) minutes per community member. Should a speaker conclude their comments prior to the expiration of three (3) minutes, the speaker waives the right to speak for any remaining amount of time.

In compliance with the Americans with Disabilities Act, If you need assistance to participate in this meeting, please contact the Planning Division at (760) 955-5135 or (760) 229-1463 no later than 72 hours prior to the meeting.

Call to Order

PUBLIC HEARINGS

1. ADMN24-00013 – Robert Ponto

Environmental – Environmental Exemption

Project – A Minor Conditional Use Permit with an Environmental Exemption to allow for a light automotive repair facility within an existing multi-tenant building located in the C-M (Commercial Manufacturing) zone district.

Location – 12454 Industrial Center Drive

Recommendation – Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project, and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve case ADMN24-00013 subject to the recommended Conditions of Approval.

2. ADMN24-00033 – Vida Parazarin

Environmental – Environmental Exemption

Project – A Minor Conditional Use Permit with an Environmental Exemption to allow for new historic wall murals on property zoned Mixed-Use Retail (MUR) within the Old Town Specific Plan

Location – 15583 Seventh Street

Recommendation – Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve case ADMN24-00033 subject to the recommended Conditions of Approval.

Public Comments

Adjournment



ZONING ADMINISTRATOR STAFF REPORT

DATE: June 5, 2024

AGENDA NO. 1

CASE: ADMN24-00013

SUBJECT: A Minor Conditional Use Permit with an Environmental Exemption to allow for light automotive repair within an existing multi-tenant building located in the C-M (Commercial Manufacturing) zone district.

APPLICANT: Robert Ponto

LOCATION: 12454 Industrial Center Drive, Suites #109 & #110

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

- 1. Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities.
- 2. Minor Conditional Use Permit** – Approve case ADMN24-00013 subject to the recommended Conditions of Approval.

II. SUMMARY:

The applicant is requesting approval of a Minor Conditional Use Permit to allow for an express light automotive repair and paint facility within a newly constructed multi-tenant industrial building zoned C-M (Commercial Manufacturing). The 2.75-acre site was developed with a 32,182 square foot industrial warehouse/office building comprised of 17 individual suites each approximately 1,850 square feet in size. The existing units are primarily warehouse space with accessory office area with roll-up doors located at the rear. The proposed use of light automotive repair is conditionally permitted in the Commercial Manufacturing zone district and this business will occupy two abutting suites within a zone that accommodates uses of this nature.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for the permitting of private structures that involve negligible or no expansion of use. Since the location was developed as a warehouse/office building and the subject site will be utilized for automotive repair and paint services, any applicable approvals from Mojave Desert Air Quality Management District shall be obtained prior to the issuance of the

Certificate of Occupancy. Due to these circumstances, Staff finds that the proposal does not constitute an expansion of use and is therefore exempt from CEQA.

2. Minor Conditional Use Permit.

Business Operations / Site History

- The proposal will utilize two abutting suites totaling approximately 3,942 square feet within an existing multi-tenant building located in a C-M (Commercial Manufacturing) zone for light automotive repair services. One suite will be utilized specifically for quick dry paint touch ups and can accommodate a maximum of one vehicle at a time, while the abutting suite will be an area for paint preparation and minor repairs only. All work will be conducted indoors within each designated shop space, and no work will be performed outside in the parking lot area, nor will any vehicles be stored overnight in the parking area. If for any reason a vehicle is not finished and cannot be picked up prior to the business closing, the vehicle will be relocated to the applicant's automotive repair facility located in the Town of Apple Valley. The applicant has stated that the business will operate from 8:00 a.m. to 5:00 p.m. Monday through Friday. Staff finds that the proposed business hours are common for uses in the area and the proposed operations are not anticipated to cause any parking or access deficiencies on-site. However, to ensure that impacts to the area remain within the scope of this approval, Staff has included Condition #1 limiting services offered onsite, unless otherwise approved by the Zoning Administrator.

Parking

- When entitled in 2021, the developed site met all Title 16 development standards pertaining to the number of required off-street parking spaces. The parking requirement for the overall site was 49 spaces, however 87 spaces were created, far exceeding this requirement and providing a surplus of 38 off-street parking spaces.
 - 1 space per 1,000 sq. ft. of warehouse space plus 1 space per 300 sq. ft. of accessory office area. ($[24,332 \text{ sq. ft. warehouse area} / 1,000 \text{ sq. ft.} = 24 \text{ spaces}] + [7,610 \text{ sq. ft. office area} / 300 \text{ sq. ft.} = 25 \text{ spaces}] = 49 \text{ total required spaces}$).

However, the parking standards for automotive repair, including body and paint shops, with accessory office areas have heightened requirements as opposed to the less restrictive parking standards for warehouse suites with accessory offices as noted above.

- 1 space per 400 sq. ft. of floor area plus 1 space per 200 sq. ft. of accessory office area and 1 space credit per 2 service bay spaces. ($[3,294 \text{ sq. ft. automotive repair and paint area} / 400 \text{ sq. ft.} = 8 \text{ spaces}] + [648 \text{ sq. ft. office area} / 200 \text{ sq. ft.} = 3 \text{ spaces}] = 10 \text{ total required spaces including the 1 space credit for the two service bays}$).

Inclusive of the parking standards noted above, the overall development will retain a surplus of 34 off-street parking spaces for the overall site, with no adverse effects anticipated.

Site Condition

- The site is well maintained, and no improvements are recommended as the site was just recently constructed. To ensure the site continues to be maintained in accord with Development Code requirements, Staff has included Condition #9, requiring continued site maintenance.

Signage

- Any proposed temporary, freestanding, or wall signage will need to meet the approved master sign program requirements. Condition #11 has been added to address the requirements for creating a master sign program per previously established conditions of approval.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
 - Comment: The underlying C-M (Commercial Manufacturing) zoning of the property conditionally permits light automotive repair which includes minor modifications and fixes to passenger vehicles. The site includes sufficient parking to serve the uses within the existing multi-tenant industrial development. The proposed business activities are appropriate for this zone and are not expected to negatively affect any existing or future businesses in the C-M zone district, therefore, the use is in accord with the objectives and requirements of the Development Code.
 - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of LI (Light Industrial) that allows for industrial uses including fabrication, manufacturing, and assembly where most business operations are conducted within the enclosed buildings. The Land Use Element of the General Plan requires that the integrity of each land use district be maintained in an effort to protect existing development from intrusion by new incompatible land uses. The light automotive repair use proposed at this site is in line with the intent of the Light Industrial District incorporating both fabrication and assembly of various vehicle parts and is compatible with the surrounding developments. Staff finds that the proposal is consistent with the General Plan and will not be detrimental to public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.
 - *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: The proposed use will be open from 8:00 am to 5:00 pm and will service customers by appointment only. These hours of operation are similar to existing uses in the area without sufficiently increasing the existing capacity of

the roadways, the proposal is not anticipated to overload the surrounding street system or include impacts greater than those that similar uses would generate during peak hours.

- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
 - Comment: The existing site is fully developed, including sufficient parking for the proposed use in accordance with current Municipal Code requirements. Additionally, the proposed use is listed as a Conditional within the underlying C-M zoning of the site. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Multi-Tenant Center	Light Industrial	Commercial Manufacturing	N/A
North	Vacant	Light Industrial	Commercial Manufacturing	N/A
South	Office Building	Light Industrial	Commercial Manufacturing	N/A
East	UPS Center	Light Industrial	Commercial Manufacturing	N/A
West	Vacant/Automotive shop	Light Industrial	Commercial Manufacturing	N/A

NUMBER OF RADIUS LETTERS MAILED: 18

CE

Attachments:

- Attachment A – Site Plan & Floor Plan Graphic
- Attachment B – Aerial Image

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL
ADMN24-00013
June 5, 2023

A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR LIGHT AUTOMOTIVE REPAIR WITHIN AN EXISTING MULTI-TENANT BUILDING LOCATED IN THE C-M (COMMERCIAL MANUFACTURING) ZONE DISTRICT AT 12454 INDUSTRIAL CENTER DRIVE., SUITES #109 & #110.

Minor Conditional Use Permit

Planning Conditions:

1. This approval is to allow for a light automotive repair facility with typical hours of operation of 8:00 am to 5:00 pm Monday-Friday on property located at 12454 Industrial Center Drive, Suites #109 and #110. Light automotive repair services shall consist of various parts replacement, minor repairs, and light paint refinishing.
2. All work on vehicles shall be performed indoors and any outdoor storage of vehicles that are dismantled, partially dismantled, or in a visible state of repair is prohibited. There will be no future allowances to offer screening methods for outdoor products or vehicle storage including fencing, walls, or landscaping.
3. Any expansion of the proposed use beyond the scope of this conditional use permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
4. The use and any proposed improvements shall comply with all applicable development standards of Title 16.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 or cause negative impacts on the surrounding uses shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
6. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application unless modification is required to comply with the applicable development standards of Title 16 and/or conditions of approval.
7. Should the City of Victorville receive complaints from patrons or adjacent neighbors of the site indicating business operations, hours, or noise that negatively impact the surrounding area, the Zoning Administrator reserves the right to review the use and modify, revoke, or suspend the conditional use permit in accordance with Title 16 guidelines.
8. There shall be no outdoor storage of equipment, materials, or automobiles on the site.
9. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
10. All rooftop, wall, and/or ground mounted equipment visible from public right-of-ways shall be screened from view and architecturally integrated into the building. Any roof mounted screening shall be grouped into a single screen element and be painted and designed to

match the buildings approved architectural design. Actual rooftop equipment screening, color, and material shall be subject to Zoning Administrator review prior to the issuance of a building permit.

11. All proposed permanent and temporary signage shall comply with an approved master sign program as required per PLAN20-00027 and Resolution # P-21-013 for the development of this multi-tenant commercial site. The property owner, or designee of, shall apply for and gain approval of a master sign program that includes site specific wall and freestanding signage design and placement standards in accordance with Title 16 standards. Approval of the sign program shall be subject to review and approval by the Zoning Administrator prior to the issuance of a building permits. Planning Commission approval is required for any master sign program that is inconsistent with Title 16.
12. The parking lot shall be utilized for employee and customer's use, by appointment only, and not as an overnight vehicle storage.
13. The Applicant/Owner shall agree to defend, indemnify, and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Fire Department Conditions:

14. Shall comply with all 2022 California Building and Fire Code requirements based on occupancy classification; and all applicable City of Victorville Fire Prevention Standards.
15. A deferred submittal shall be required for the Spray Paint Booth. Plans shall be submitted and approved prior to construction.

Building Department Conditions:

16. The project shall comply with all building codes in effect at the time of plan submittal.
17. All tenant improvements must be approved and issued prior to any work being started.
18. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B of the California Building Code.
19. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimate of these fees. Tools for estimating total permit fees are available on the City's website <https://www.victorvilleca.gov/government/city-departments/development/permit-center/fees-forms>. Actual amounts owed will be determined upon submittal of the plans via the City's online permit center.

**THIS PAGE LEFT
BLANK
INTENTIONALLY**

ZONING ADMINISTRATOR ATTACHMENT A

Floor Plan and Site Plan

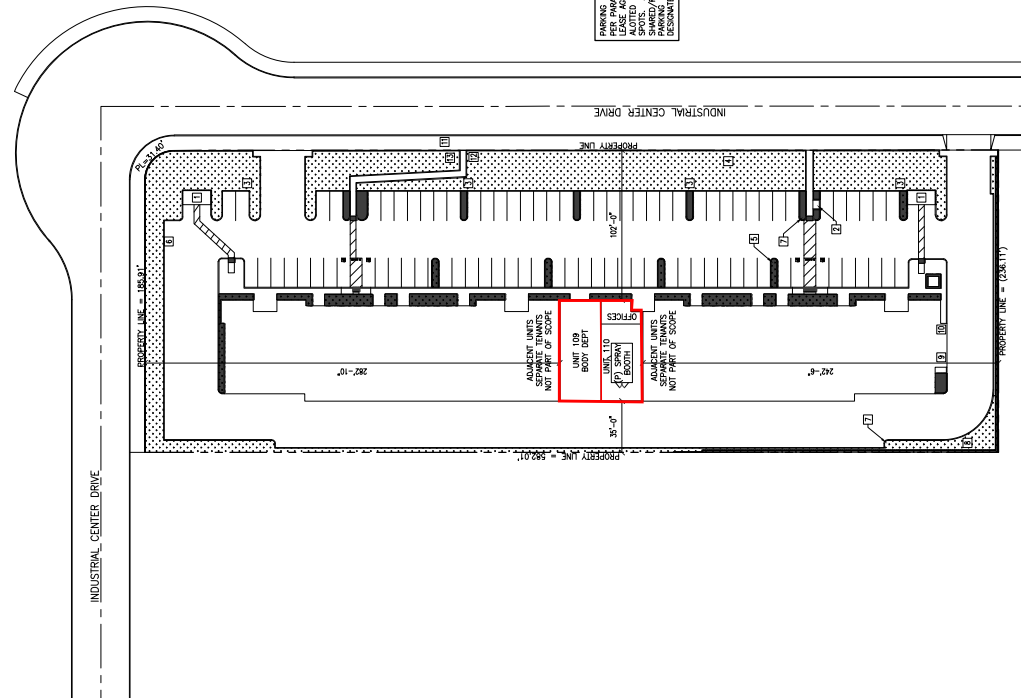
NOTES AND SCHEDULES

BUILDING INFORMATION/ CODE ANALYSES

APN: 3091-261-280-000
 LEGAL DESC: PARCEL MAP 12251 PARCEL 7, 8, & 9
 COUNTY OF SAN BERNARDINO

USE: AUTOMOTIVE SPRAY BOOTH OPERATIONS
 OCCUPANCY: STORAGE S4 & BUSINESS B
 CONSTRUCTION TYPE V4B
 FIRE-SPRINKLERED BUILDING
 STORES: SINGLE
 BUILDING HEIGHT: 20'

EXISTING BUILDING AREA: 430,000 SQ. FT.
 REMODEL AREA (NEW SHOP): 3,784 SQ. FT.
 ADDITIONAL PROPOSED AREA: 0 SQ. FT.



PARKING NOTE: (1) (A) IS THE ADJACENT UNITS SHARED/RECREATIONAL PARKING - NO ASSIGNED TO THE TENANT DAILY

PARKING NOTE: (2) (A) IS THE ADJACENT UNITS SHARED/RECREATIONAL PARKING - NO ASSIGNED TO THE TENANT DAILY

THE PROPERTY OWNER HEREBY CERTIFIES THAT THE TENANT HAS REVIEWED THIS SITE PLAN FOR CONFORMANCE WITH THE CITY OF VICTORVILLE, CALIFORNIA, AND THE EXISTING RECORDS. THIS SITE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER. ALL DIMENSIONS SHOWN ON THIS PLAN ARE MEASURED AND CAN VARY FROM PUBLIC RECORDS. THIS SITE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER. THIS SITE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER. THIS SITE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER.

SITE PLAN NOTES

SYMBOL	DESCRIPTION
1	EXISTING TRASH ENCLOSURE
2	EXISTING MAINTENANCE
3	EXISTING LIGHT POLE
4	EXISTING FIRE DEPARTMENT SERVICES
5	EXISTING STAMPPES
6	EXISTING STORM DRAIN
7	EXISTING PRIVATE FIRE HYDRANT
8	EXISTING GROUND VALVE
9	EXISTING ELECTRICAL ROOM
10	EXISTING FIRE SPRINKLER RISER ROOM
11	EXISTING WATER MAIN
12	EXISTING SEWER MAIN
13	EXISTING GAS METERS

SITE PLAN

CLIENT:
FIX AUTO
12454 INDUSTRIAL CENTER DRIVE
VICTORVILLE, CA 92395



REVISION STATUS:

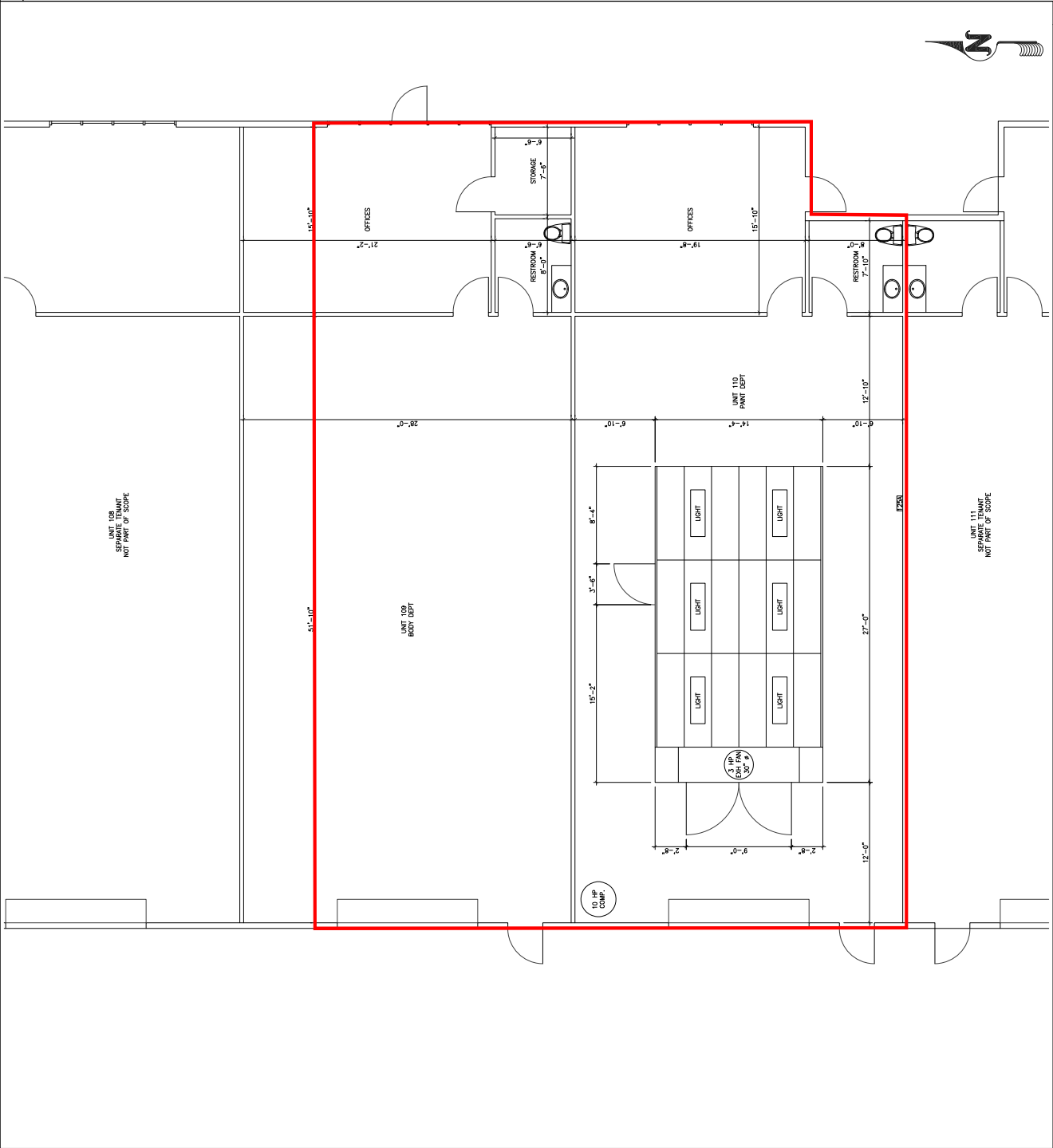
REV.	DATE	DESCRIPTION
1	05/08/24	SCOPE OF WORK CLASSIFICATION

PROJECT NO: **24-055**
 DRAWN BY: **BM**
 ENGINEERED BY: **BM**
 DATE: **02/16/2024**

PROJECT DESCRIPTION & ADDRESS:
CUP-LIGHT AUTO REPAIR
12454 INDUSTRIAL CENTER DRIVE
VICTORVILLE, CA

A1

NOTES AND SCHEDULES



PARTIAL FLOOR PLAN (AREA OF WORK)

SCALE : 1/4"=1'-0"

A

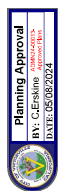
DESIGN & PROFESSIONAL ENGINEERING SERVICES
EJD ENGINEERING INC.
Ernest J. De Leon, P.E.
5847 Pine Ave (Suite A)
Chino Hills, CA 91709
Office: 909.517.2451
Fax: 877.795.9778
Ernest@EJDEngineering.com

COPYRIGHT:
THIS DRAWING IS THE COPYRIGHTED PROPERTY OF EJD ENGINEERING, INC. IT IS THE PROPERTY OF EJD ENGINEERING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND FOR THE CLIENT. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF EJD ENGINEERING, INC. IS STRICTLY PROHIBITED.

SHEET DESCRIPTION:

FLOOR PLAN

CLIENT:
FIX AUTO
12454 INDUSTRIAL CENTER DRIVE
VICTORVILLE, CA 92395



REVISION STATUS:
May 3, 2024

REV.	DATE	DESCRIPTION
1	02/16/24	SCOPE OF WORK CLASSIFICATION

PROJECT NO.: **24-055**
DRAWN BY: **BM**
ENGINEERED BY: **BM**
DATE: **02/16/2024**

PROJECT DESCRIPTION & ADDRESS:
CUP-LIGHT AUTO REPAIR
12454 INDUSTRIAL CENTER DRIVE
VICTORVILLE, CA

A2
SHEET

**THIS PAGE LEFT
BLANK
INTENTIONALLY**

ZONING ADMINISTRATOR ATTACHMENT B

Aerial Image

CASE: ADMIN24-00013

Case Type: Minor Conditional Use Permit
Existing Zoning: C-M
Project Area: 2.75 Acres
Location: 12454 Industrial Center Drive
#109 & #110
Assessor Parcel Number(s): 3091-261-28
Public Hearing Date: June 5, 2024



 Project Site

Copyright neemap 2016



Case: ADMIN24-00013
Printed: May 23, 2024
Author: Casandra Erskine
Disclaimer: This map is to be used for visual reference only.
Sources are available upon request.





ZONING ADMINISTRATOR STAFF REPORT

DATE: JUNE 05, 2024 **AGENDA NO. 2**

CASE: ADMN24-00033

SUBJECT: A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR THE APPROVAL OF NEW HISTORIC WALL MURALS

APPLICANT: VIDA PAZARIN

LOCATION: WITHIN THE OLD TOWN SPECIFIC PLAN LOCATED AT 15583 SEVENTH STREET

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Conditional Use Permit** – Approve Minor Conditional Use Permit Case No. ADMN24-00033 subject to the recommended Conditions of Approval.

II. SUMMARY:

The applicants, a partnership between affected property owners and community groups from the Old Town Victorville region being represented by Vida Pazarin, are requesting approval of this Minor Conditional Use Permit to allow for multiple historic wall murals on existing wall surfaces in Old Town. Where a building at 15583 Seventh Street once stood prior to its demolition in 2019, all that remains are two masonry walls left in place to reinforce the buildings on either side of this now vacant lot. In the last five years since the demolition took place, these two remaining walls have repeatedly been utilized for unpermitted street art. This Minor Conditional Use Permit will allow for the wall surfaces to be utilized for artwork with historical or cultural significance to the region as required for Historic Wall Murals in the Old Town Specific Plan.

Three wall murals are proposed on three individual wall surfaces and will depict the jackrabbit mascot of Victor Valley High School, a landscape scene showcasing indigenous people of the region, and a tribute to the late Felix Diaz, a respected and involved educator and community member of Victorville. The three murals will be painted by three different local artists, and each depict people and imagery significant to Victorville and the Old Town region. The applicants' project description has been included as Attachment B. The murals aim to bring a sense of pride for Old Town residents and attract tourists travelling along Route 66.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15303 allows a categorical exemption for minor alterations of existing private structures, including the wall mural which is considered a minor exterior alteration of the building.

2. Minor Conditional Use Permit.

- Two of the murals will be located on the internal remnant walls flanking the vacant lot of 15583 Seventh Street. The two walls are both visible from Seventh Street as one walks or drives by, with the proposed Felix Diaz mural visible to northbound traffic and the proposed Native American scene visible to southbound traffic. The third mural depicting the jackrabbit mascot of the local high school will be placed on a blank wall surface at the rear of 15575 Seventh Street, visible from the alleyway behind the building. All three murals will be viewed by attendees of the HD Family Events food truck hub events which have been permitted to take place on the vacant lot since 2023.
- Section 4.11 of the Old Town Specific Plan (OTSP) encourages the addition of murals to add nostalgia, charm and beauty as well as attract tourists, pedestrians, and patrons to Old Town. Historic murals can be approved through a Minor Conditional Use Permit and must depict a historical or culturally significant event, site, person, or geographic feature that ties into the Route 66 or Old Town theme. Each of the three proposed murals meet this criteria as described below.

Mural A: Felix Diaz

The design of the mural proposed on the northern remnant wall at the vacant lot at 15583 Seventh Street depicts local dignitary Felix Diaz (1934-2021), a Victorville resident, educator, military veteran, and former City Councilmember. As described in Attachment A & Attachment B, the mural features Mr. Diaz in his California Cadet Corps Commandant uniform with symbology of his life on either side of him. The imagery represents his segregated upbringing north of the railroad tracts at E Street, the old Victor Valley High School that he taught and coached at for numerous years, the Veterans Memorial on Seventh Street and Forrest Avenue that he helped establish, and singers from the Felix G. Diaz Mariachi Music Festival that he founded in 2015. To ensure that the mural depiction is respectful of Mr. Diaz's status in the Cadet Corps, Condition #10 has been added to require that the artist verify that the uniform is accurate to his rank.

Mural B: Native American Tribute

Mural B will be done opposite of Mural A on the southern remnant wall of 15583 Seventh Street and will showcase a tribute to the indigenous people who first settled in the region. Though the subject matter is supported by Staff, the renderings provided may need revisions to accurately represent the people and setting that are being honored by this artwork. The artist is currently working with local tribal governments to obtain approval on a final rendering. As such, Condition #9 has been included to require that the final mural design be reviewed and approved by the Zoning Administrator prior to any work beginning on this particular mural. Additionally, the wall surface where this mural will be placed has featured non-approved street art and will need to be removed or covered with neutral paint or primer before work can commence on any of the murals permitted through this Minor Conditional Use Permit (see Condition #7).

Mural C: Victor Valley High School Jack Rabbit

Mural C will be placed on the rear of 15575 Seventh Street and will be visible from the alleyway behind the Mettias Route 66 Convenience market. The mural will depict a classic iteration of the mascot of Victor Valley High School, “Jack the Jackrabbit” in his green sweater with a “V” emblematic of Victorville. The mural pays homage to the history of the century-old high school that borders the boundary of the Old Town Specific Plan. A version of this image was painted illegally on a remnant wall within the vacant lot that will be covered by the Native American Tribute mural. Because it ultimately complies with the mural criteria of the Old Town Specific Plan, Staff is supportive of this mural being relocated legally to the rear wall of the adjacent building.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Old Town Specific Plan.*
 - Comment: As mentioned, murals are allowed by a Minor Conditional Use Permit and the Specific Plan does not limit the district in which the mural is placed, nor does it specify color, shape, or size. Therefore, the proposed wall murals are in accordance with the Mixed-Use Retail overlay District of the Old Town Specific Plan.
 - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of Specific Plan. Being designated Specific Plan, the Old Town Specific Plan is the general land use guide and document for Old Town. Since the proposed murals meet the intent of the Plan, the proposal is consistent with the General Plan. The mural will help the Plan’s goal to create a vibrant pedestrian friendly ‘main street’ corridor and is not detrimental to the public.
 - *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: The murals will not specifically increase traffic and will not result in visually distracting images that will be a driving hazard. The hope would be to slow traffic down among other traffic calming goals in the Plan that would increase public safety.
 - *The proposed conditional use will comply with each of the applicable provisions of the Land Use Plan within the Old Town specific Plan.*
 - Comment: As mentioned, historic wall murals are allowed through Section 4.11 of the Old Town Specific Plan. The mural types and what they depict is regulated, but not the size shape and location, Therefore, the proposal will comply with each of the applicable provisions of the Land Use Plan section of the OTSP.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Undeveloped	Specific Plan	S-P	MURO
North	Vacant	Specific Plan	S-P	MURO
South	Convenience Market	Specific Plan	S-P	MURO
East	Motel	Specific Plan	S-P	MUR
West	Vacant	Specific Plan	S-P	MURO

NUMBER OF RADIUS LETTERS MAILED: 30

DK

Attachments:

Attachment 'A' - Renderings of Murals

Attachment 'B' - Summary of Project

Attachment 'C' - Street View and Aerial Image

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL
ADMN24-00033
June 05, 2024

**A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW
FOR THE APPROVAL OF NEW HISTORIC WALL MURALS**




Planning Conditions:

1. This approval shall be valid for three historic wall murals located on walls abutting a vacant lot at 15583 Seventh Street and on the rear elevation of an existing building at 15575 Seventh Street within the Old Town Specific Plan.
2. The proposed wall murals shall comply with all applicable development standards of the Old Town Specific Plan.
3. The proposed wall murals shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, the Old Town specific Plan, and/or conditions of approval.
4. Any expansion of the proposed use beyond the scope of this Conditional Use Permit shall require submission and approval of a Conditional Use Permit Modification or a new Conditional Use Permit based upon the extent of the expansion.
5. The installation of the murals or any change in use or implementation of a new use at the location, which causes a traffic issue shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
6. The exact locations and sizes of the wall murals shall be reviewed and approved by the Zoning Administrator prior to being painted.
7. All unpermitted street art on the affected sites shall be removed or covered up with neutral paint or primer prior to the painting of the three murals approved within this case.
8. The final drafts of the wall murals shall be reviewed and approved by the property owner and Zoning Administrator prior to being painted.
9. The applicant/artist shall obtain and provide evidence of support from at least one local Native American tribe before submitting the finalized draft of "Mural B" for approval.
10. The applicant/artist shall verify that the uniform design of Felix Diaz depicted on "Mural A" accurately represents his ranking within the California Cadet Corps prior to the painting of the mural.
11. The applicant/owner shall be responsible to clean up any graffiti painted on the murals or the same building walls the murals are located on within 24 hours.
12. This approval does not restrict a property owner from removing the mural(s) from their property at any given time.

13. The applicant/owner shall install informational plaques to provide context to the Felix Diaz and Native American murals. The design and implementation of the plaques shall be subject to the review and approval of the Zoning Administrator.
14. The applicant/owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
15. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

ZONING ADMINISTRATOR ATTACHMENT A

Renderings of Murals

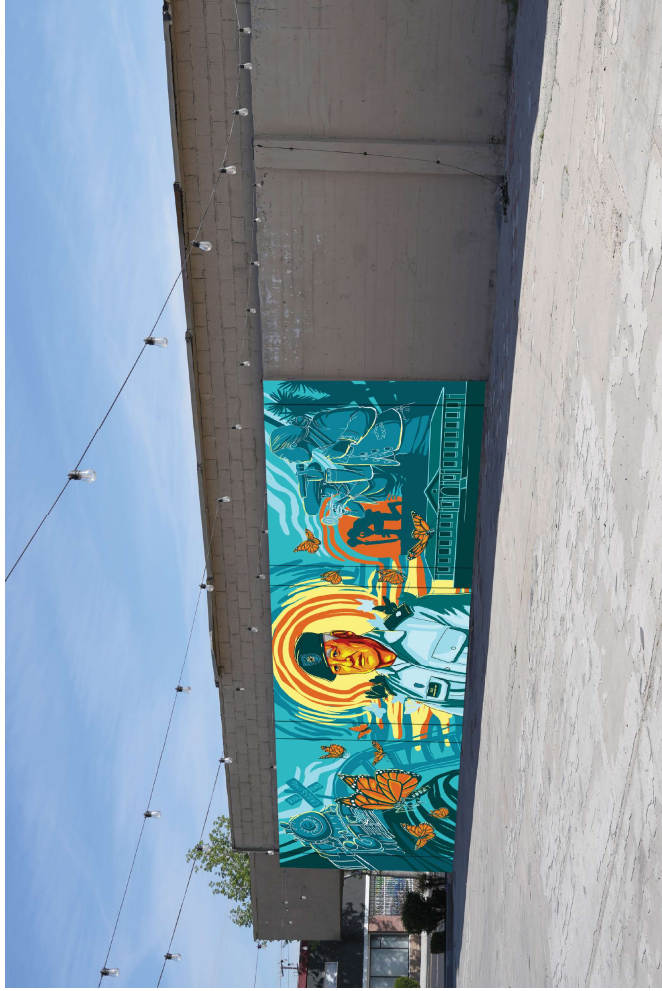
<p>Mural A: Felix Diaz</p>	<p>Address: 15583 7th Street, Victorville (Angie Lopez /current blank wall) 3 middle panels</p>	
<p>Mural B: Native American Tribute</p>	<p>Address: 15583 7th Street, Victorville (Route 66 Convenience Store wall, Richard Mettias) Replace existing murals</p>	<p>*Revisions are being made to reflect local tribe, pine trees will be replaced by local desert landscape*</p> 
<p>Mural C: Victor Valley High School Jack Rabbit</p>	<p>Address: 15575 7th street, Victorville Alley entry way for Route 66 Convenience Store (Richard Mettias)</p>	

Mural A

**OLD TOWN
VICTORVILLE**

DESIGN 2

By Vanessa M
Gomez



OLD TOWN DESIGN 2
VICTORVILLE

By Vanessa M Gomez



In this design, I chose to honor the late Felix Diaz. Diaz was a proud and active Victorville community member who served as an educator for 46 years, city council member, California Cadet and Commandant, Army veteran, and veteran advocate.

Diaz grew up in the time of segregation in Victorville where black and brown communities were restricted to live and have businesses on E St across the railroad (left panel). Even so, Diaz as a youth would challenge these norms at the time. On the right panel, we see the old Victor Valley High School that was on 7th and Forrest Avenue across the street where the Veterans Memorial stands today (Diaz was responsible for the Veterans Memorial). He was also part of the California Cadet Corps becoming a Commandant which he was very proud of; he is seen in uniform here.

Diaz was proud of his Mexican Heritage and music, founding the Felix G. Diaz Mariachi Music Festival in 2015. A dedicated educator, Diaz was part of nonprofit, Los Dorados del Valle Charro Group, which aimed to help raise scholarship funds for Latinx students to attend VVC. Of his 46 years as a teacher, he taught at VVC for 23 years.

Diaz believed in respecting each other, having pride in oneself and country, and was a strong believer in giving back. In my design, butterflies rise from Diaz. Butterflies symbolize life, growth, transformation which represents Diaz's important work within the community.



LOSER ONE to you 4s



Page 27

Mural B



Send message



Mural C

ZONING ADMINISTRATOR ATTACHMENT B

Summary of Project

Minor conditional use permit for a mural on blank walls and replace non-conforming murals.

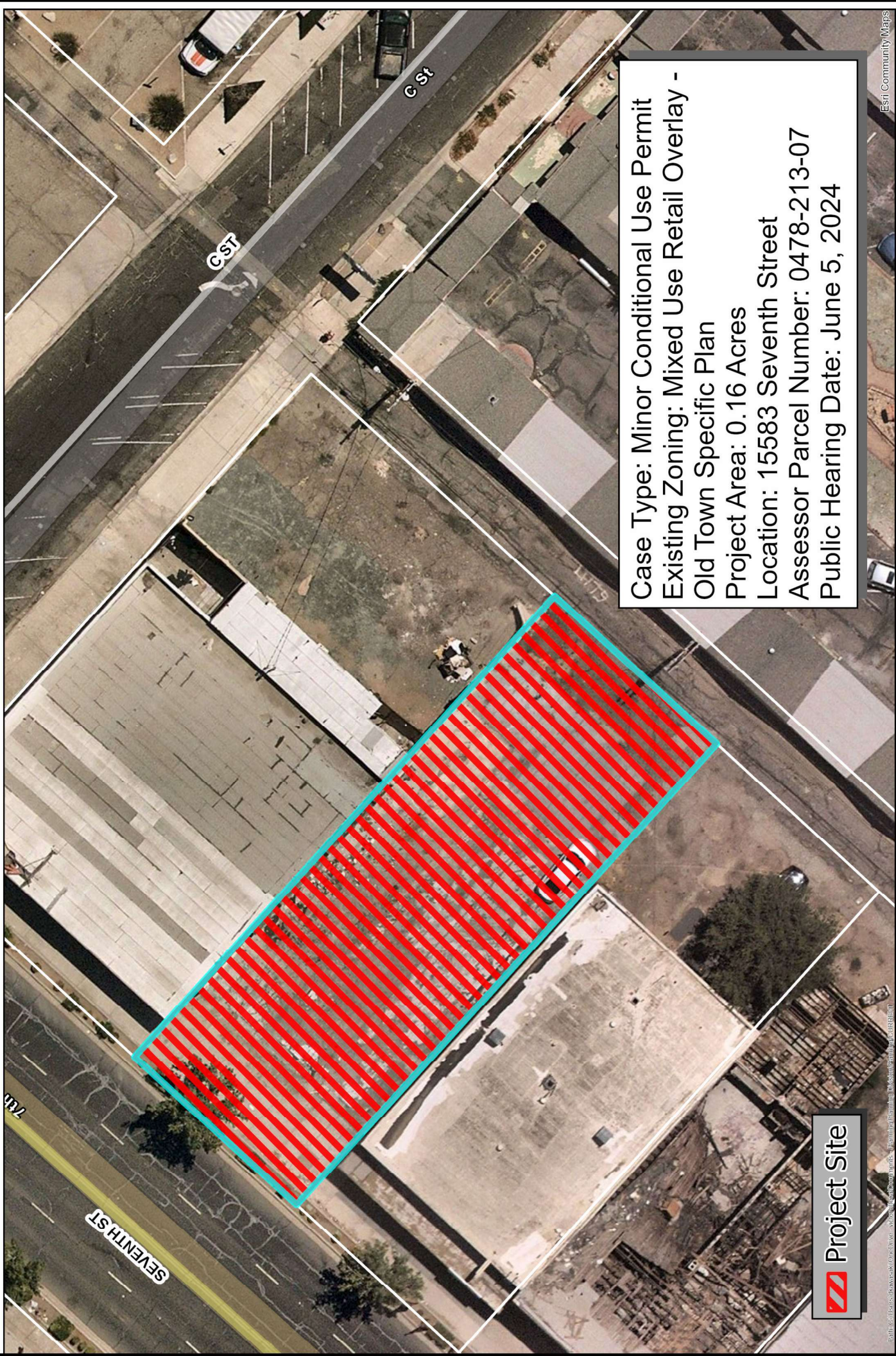
The new mural will be painted by local artist Vanessa Gomez who was commissioned by the San Bernardino County Arts Connection for her work. Vanessa freelance artist, animator, and substitute teacher from the desert community of Victorville, California. Vanessa has done work at the Riverwalk Park, Sierra University, Hesperia Lake Park as well as has been commissioned by Walmart to expand local art. Vanessa believes in having the community be part of the art creation process. Therefore she created three designs that uniquely highlight the history of Downtown Victorville and the community selected the Felix Diaz mural. Vanessa will create this mural with a team of community members, this is a technique that she has used in the past, and it is a way to bring the arts to everyone while still overseeing the final product. This mural will be created on June 14 and 15th. During this time we will have live music, food truck vendor and arts vendors who normally participate in the HD family event night markets.

The second part of the application is to replace the non-conforming art that borders the Route 66 Convenience Store and the back entrance of the store. The wall that is currently painted will be replaced by a local artist, that currently has one of his art pieces up on that wall, by an indigenous scene. An important part of the history of Victorville is the Mojave River and the native tribes that lived on that land prior to Western expansion. This wall will honor the native history of Victorville, while the new murals will honor more contemporary historical elements of Downtown Victorville.

Lastly, the wall where the back entrance of the Route 66 convenience store is will have a Victor Valley High School Jack Rabbit. The Jackrabbit is currently painted on the wall that will be replaced by the indigenous scene. We want to stay on theme on each wall so we propose to move the Jackrabbit to the black wall.

ZONING ADMINISTRATOR ATTACHMENT C

Street View and Aerial Image



Case Type: Minor Conditional Use Permit
Existing Zoning: Mixed Use Retail Overlay -
Old Town Specific Plan
Project Area: 0.16 Acres
Location: 15583 Seventh Street
Assessor Parcel Number: 0478-213-07
Public Hearing Date: June 5, 2024

 Project Site





**THIS PAGE LEFT
BLANK
INTENTIONALLY**



SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

rh