



Conference Room A
14343 Civic Drive
Victorville, CA
www.victorvilleca.gov

Zoning Administrator

**Regular Meeting Agenda
Wednesday, October 19, 2022**

10:00 a.m. Regular Meeting

The Zoning Administrator welcomes and encourages public participation and invites the community to attend in person. If you cannot attend in person, the meeting will also be available via Zoom.

To join via Computer, Laptop, or Smart Device:

Meeting ID: 820 3577 0582

*To provide comment, click the “Raise Hand” button and the Clerk will unmute you.

To join via Audio only (cell phone or landline):

Dial: (669) 444-9171

Meeting ID: 820 3577 0582

*To provide comment dial *9 to “Raise Hand”

Public Comments: Members of the public may submit comments electronically to planning@victorvilleca.gov. All email comments received by 3 p.m. the day before the meeting will be distributed to the Zoning Administrator. Participants are invited to address the Zoning Administrator on agenda and non-agenda topics. Public comments will be no longer than three (3) minutes per community member. Should a speaker conclude their comments prior to the expiration of three (3) minutes, the speaker waives the right to speak for any remaining amount of time.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (760) 955-5135 no later than 72 hours prior to the meeting.

Call to Order

PUBLIC HEARINGS

1. ADMN22-00092 – Rawlings Construction

Environmental – Environmental Exemption

Project – A Minor Conditional Use Permit with an Environmental Exemption to allow for on-site sales of beer, wine and liquor at an existing restaurant on a C-2 (General Commercial) zoned parcel.

Location – 11612 Amargosa Road

Attachments – Attachment A – Site and Floor Plan
Attachment B – Aerial Image

2. ADMN22-00112 – HD Grace Vision Center

Environmental – Environmental Exemption

Project – A Minor Conditional Use Permit with an Environmental Exemption to allow for a Korean Non-Profit Social Services and Resource Center at property zoned Regional Resource within the Civic Center Sustainability Specific Plan.

Location – 15378 Ramona Avenue

Attachments – Attachment A – Business Proposal
Attachment B – Site and Floor Plan
Attachment C – Aerial Image

Public Comments

Adjournment



ZONING ADMINISTRATOR STAFF REPORT

DATE: October 19, 2022 **AGENDA NO. 1**

CASE: ADMN22-00092

SUBJECT: A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR ALCOHOL SALES (INCLUDING BEER, WINE, & DISTILLED SPIRITS) FOR ON-SITE CONSUMPTION AT AN EXISTING RESTAURANT

APPLICANT: STEVE RAWLINGS

LOCATION: 11612 AMARGOSA ROAD

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator take the following actions:

- 1. Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
- 2. Minor Conditional Use Permit** – Approve case ADMN22-00092 subject to the recommended Conditions of Approval.

II. SUMMARY:

The applicant is requesting approval of this Minor Conditional Use Permit to allow for the addition of full-service alcohol sales in conjunction with an existing Cracker Barrel restaurant that currently sells beer and wine only. The subject site is located on a stand-alone pad within a multi-tenant commercial center in the “Restaurant Row” area of the City. The site is a recent development, with Cracker Barrel gaining occupancy in early 2018. The existing restaurant operates between the hours of 7AM – 10PM Sunday – Thursday & 7AM – 11PM on Friday and Saturday with no proposed change to the hours based on the proposed expansion. The restaurant is located within an area that is over-concentrated with on-sale alcohol licenses as defined by the California Department of Alcoholic Beverage Control (ABC), however, any required findings are made by the ABC at their discretion, and in conjunction with this Minor Conditional Use Permit.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for projects involving the permitting of private structures involving no expansion of use. The use of a restaurant with alcohol sales for on-site consumption will not constitute an expansion of use as no construction activities or other tenant improvements are proposed, and the site is currently operating as a restaurant.

Therefore, Staff finds this categorical exemption applicable to this proposal.

2. Minor Conditional Use Permit.

Business Operations

- As noted in the summary, the restaurant presently operates between the hours of 7AM – 10PM Sunday – Thursday & 7AM – 11PM on Friday and Saturday with no proposed changes. The submitted floor plan indicates an interior dining room with tables and seating for approximately 180 patrons. The remaining area of the 9,170 sq. ft. building consists of kitchen, storage, cooler, restrooms, office, employee break rooms, and a retail gift shop. The building also includes a 1,316 sq. ft. covered porch along the front elevation where outside dining was first allowed during the COVID-19 pandemic. As permitted by the California Department of Alcoholic Beverage Control (ABC), service of alcoholic beverages would also take place where outside dining takes place.
 - Based upon previous approvals by the Planning Commission and Zoning Administrator with regard to restaurants seeking the sales of distilled spirits, Staff has included Conditions 10 – 25, in an effort to ensure the operations do not morph into a bar and/or nightclub atmosphere during late night hours. These conditions include use restrictions, required ABC license type, and hours of operation that will not exceed those proposed in this application.

Title 16

- Title 16 defines a restaurant as a *“bona fide eating place whose predominant function is the service of food and where alcoholic beverages are incidental. Incidental in this context means a restaurant with alcohol sales totaling less than twenty-five (25%) percent of all gross sales.”* Although a restaurant (meeting the definition above) selling beer and wine only is exempt from the requirement of a Conditional Use Permit as outlined in Section 16-3.07.020(a)(1), a Conditional Use Permit is required due to the proposals request for alcohol sales that include liquor.
- Eighty-one off-street parking spaces are required pursuant to the Title 16 requirement of one space for every one-hundred square feet of floor area for the restaurant component and one space for every two hundred square feet of floor area for the retail component ($[6,756 \text{ sq. ft.} / 100 \text{ sq. ft.} = 68 \text{ spaces}] + [2,594 \text{ sq. ft.} / 100 \text{ sq. ft.} = 13 \text{ spaces}] = 81 \text{ spaces}$). The Cracker Barrel site was developed with ninety-six parking spaces, and an additional approximately 157 spaces in the adjoined multi-tenant center. Due to the excess number of parking spaces, Staff finds the available parking sufficient to meet the needs of the use.

Site Condition

- Developed only five years ago, the site is in overall good condition with full street improvements, non-weathered paved parking areas, landscaping, and underground utilities. The existing trash enclosure however, does not meet current code standards related to an appropriate roofing, screening, and security. Staff has included Condition #9, requiring an upgrade to the existing trash enclosure to comply with the current applicable standards of Title 16.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
 - Comment: The underlying C-2 (General Commercial) zoning of the property conditionally permits full-service alcohol sales in conjunction with a restaurant. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
 - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of Commercial with a Zone District that conditionally allows for the proposed use. Additionally, the Vision for the Land Use Element of the General Plan notes that a “*Separation of incompatible land uses and integration of complementary ones*” and “*Locations for commercial uses with strong vehicular and pedestrian access*” are characteristics of the Vision for Victorville. Since the proposal is located approximately sixteen-hundred feet from the nearest residential zone, and due to the site’s location on a developed property abutting an Arterial Roadway (Amargosa Road), Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.
 - *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: Since the location was developed as a restaurant and has experienced no major traffic impacts, and due to the site’s location on a developed lot with complete street improvements, the proposal will not overload the capacity of the surrounding street system and will not create a hazard to public safety.
 - *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
 - Comment: The existing site is fully developed, including sufficient parking for the proposed use and improvements in accordance with current Municipal Code requirements. Additionally, full-service alcohol sales in conjunction with a restaurant is listed as a conditional use within the underlying C-2 zoning of the site. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Restaurant	Commercial	C-2	N/A
North	Multi-tenant Commercial Center	Commercial	C-2	N/A
South	Self-Storage Facility	Commercial	C-2	N/A
East	Amargosa Road and I-15 Freeway Right-of-Way	N/A	N/A	N/A
West	Self-Storage Facility	Commercial	C-2	N/A

NUMBER OF RADIUS LETTERS MAILED: 12

DK

THE ZONING ADMINISTRATOR'S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL
ADMN22-00092
October 19, 2022

Planning Conditions:

1. This approval is to allow for full-service alcohol sales (beer, wine, & distilled spirits) in conjunction with a restaurant located at 11612 Amargosa Road. Operating standards, including business hours, use restrictions, and California Alcoholic Beverage Control licensure type shall be as designated within the following Conditions of Approval.
2. The proposed use shall comply with all applicable development standards of Title 16.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this conditional use permit, unless modification is required to comply with the applicable development standards of Title 16, and/or conditions of approval.
4. Any expansion of this proposed use beyond the scope of this conditional use permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
6. Approval of the Conditional Use Permit shall not abrogate the applicant from obtaining all necessary licenses for alcoholic beverage sales from the Department of Alcoholic Beverage Control.
7. Any non-compliance with this Conditional Use Permit and/or any subsequent Alcohol Beverage License's issued on the premises may be cause for revocation of this Conditional Use Permit and the user's Business License.
8. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
9. The on-site trash enclosure shall be made to conform with current code prior to the issuance of the new and/or revised Alcoholic Beverage Control license. In accordance with the City's Small MS4 Permit, a solid roof/cover that is architecturally compatible with the primary building onsite and serves to protect the refuse area from inclement weather shall be provided, as well as wrought iron that fully encloses the trash enclosures between the block wall/metal gates and the roof to prevent unauthorized entry. (See Section 16-3.10.060(d)(2) & Sec. 16-3.24.110).
10. The hours of operation shall be limited to 7AM – 10PM Sunday – Thursday & 7AM – 11PM on Friday and Saturday. Sales, service and consumption of alcoholic beverages shall cease 30 minutes before closing on each night. When a national holiday is celebrated on a Monday, then Sunday operational hours are permitted to match those of Friday and Saturday.

11. The subleasing or renting out of the entire facility is prohibited.
12. The restaurant shall not include a stage of any kind, unless approved on a temporary basis in conjunction with a Temporary Use Permit approved by the Zoning Administrator.
13. Alcoholic beverages are only to be sold and/or provided by the licensed business at the location. Outside alcohol provided by patrons or other vendors is prohibited.
14. Minors, under the age of 18 years, shall not be on the premises after 10pm, unless accompanied by their legal guardian.
15. A full food menu shall be available during business hours.
16. Alcohol sales shall total less than twenty-five (25%) of all gross sales on-site.
17. No live entertainment shall be offered within the business, including but not limited to bands, singers, karaoke, disc jockeys, dancers, or comedians, without first obtaining a discretionary modification to the Conditional Use Permit and/or Temporary Use Permit.
18. Exterior or off-site advertising intended to bring customers to the restaurant exclusively or primarily for the consumption of beer, wine or alcohol is prohibited except for advertising related to a champagne brunch.
19. The facility shall remain a restaurant and maintain a Type 47 Department of Alcoholic Beverage Control license (bona fide eating place) at all times and not become strictly a bar.
20. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.
21. There shall be no "stacking" of alcoholic drinks, i.e., no server shall deliver more than one alcoholic drink at a time, to a single patron.
22. Employees shall be advised in writing by the Applicant and/or business owner that they are prohibited from consuming any alcoholic beverages during their work shift, and that the penalty for doing so may be suspension or termination of their employment.
23. An incident log shall be maintained at the licensed premises on a continual basis with at least one year of entries and be readily available for inspection by a police officer. The log is for recording any physical altercations, injuries, and objectionable conditions that constitute a nuisance occurring in, on, or at the licensed premises, including the immediately adjacent area that is owned, leased, or rented by the licensee. The log will indicate date, time, description of incident, and action taken. "Objectionable conditions that constitute a nuisance" means disturbance of the peace, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, loitering, public urination, lewd conduct, drug trafficking, or excessive loud noise.
24. Install a closed circuit television system capable of readily identifying facial features, and stature of all patrons entering the establishment during hours of operation. Cameras are to be recorded and a minimum of a 9 day library of events shall be kept and available for inspection by the Victorville Police Department.

25. Special events and/or any use proposed outdoors shall be required to obtain Temporary Use Permit or Conditional Use Permit Modification at the discretion of the Director of Development.
26. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
27. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
28. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Building/Fire Conditions:

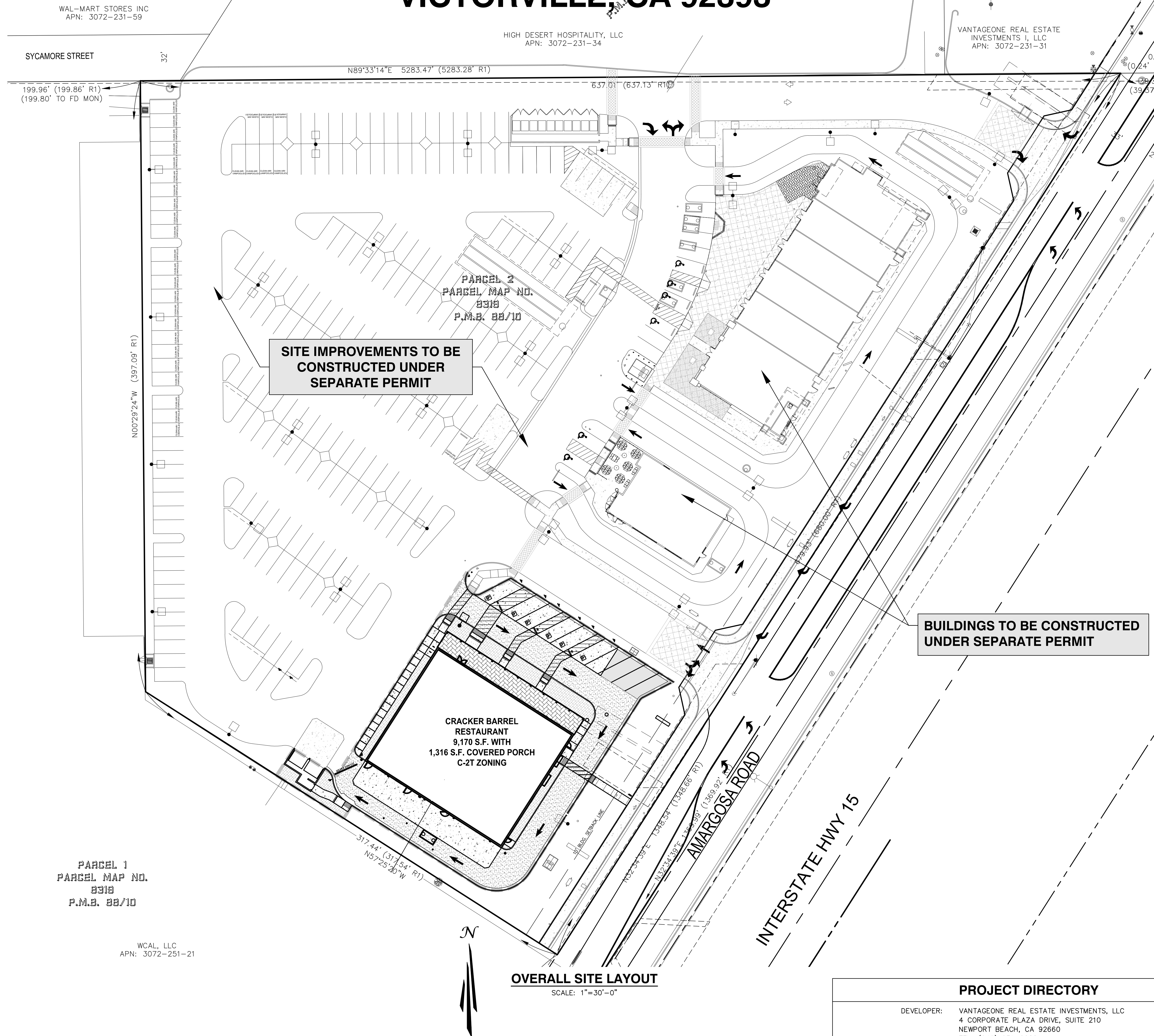
29. Shall comply with all current Building and Fire Code requirements based on occupancy classification.

**THIS PAGE LEFT
BLANK
INTENTIONALLY**

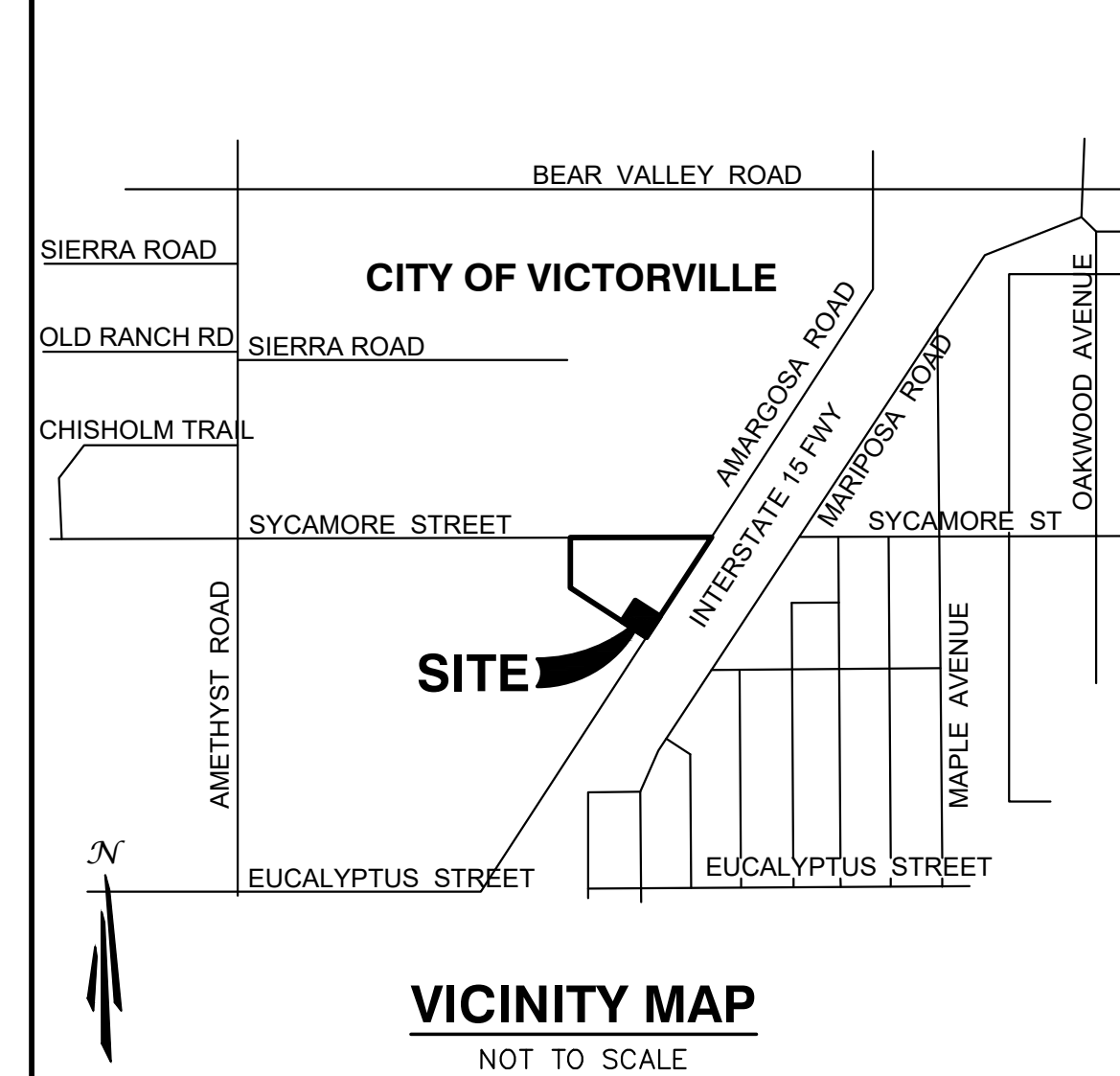
ATTACHMENT A

CRACKER BARREL

2025 AMARGOSA ROAD VICTORVILLE, CA 92393



OVERALL SITE LAYOUT
SCALE: 1"=30'-0"



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- C-0 COVER SHEET
- C-1 SITE LAYOUT PLAN
- C-2 GRADING / DRAINAGE PLAN
- C-3 SWPPP / EROSION CONTROL PLAN
- C-4 UTILITY PLAN
- SD-1 STANDARD DETAILS
- SD-2 STANDARD DETAILS

LEGEND

- CF CURB FACE
- EG EXISTING GROUND
- FF FINISH FLOOR
- FS FINISH SURFACE
- FL FLOW LINE
- FB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LIP LIP OF GUTTER
- LP LOW POINT
- RIM MANHOLE RIM
- TC TOP OF CURB
- TOG TOP OF GRATE
- EXISTING FIRE HYDRANT
- GREASE INTERCEPTOR
- POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION
- TRANSFORMER
- YARD LIGHT
- PROPOSED ELEVATION
- EXISTING ELEVATION
- STORM DRAIN INLET PROTECTION
- FIBER ROLLS
- CONCRETE WASHOUT
- PROPERTY LINES
- WORK LIMITS LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- ELEC LINE
- GAS LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- TELEPHONE LINE
- WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM DRAIN
- PROPOSED WATER LINE
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- CONCRETE PAVING
- ENHANCED PAVING PORCH AREA
- LANDSCAPE AREA

CRACKER BARREL PROJECT NUMBER: GC-11-CITY, STATE-11
CRACKER BARREL
OLD COUNTRY STORE #765
2025 AMARGOSA ROAD
VICTORVILLE, CA 92393
 PROPERTY OF CRACKER BARREL, OLD COUNTRY STORE, INC.
 REPRODUCED WITHOUT THE WRITTEN PERMISSION OF CRACKER BARREL, OLD COUNTRY STORE, INC.

Cracker Barrel
 P.O. Box 787
 Hartmann Drive, Lebanon, TN 37087



11888 Trade Center Plaza
 Rancho Cordova, CA 95742
 Tel: (916) 632-0444
 www.tait.com
 TAIT
 Since 1964
 TAIT & ASSOCIATES
 Rancho Cordova, CA 95742
 Tel: (916) 632-0444
 www.tait.com
 TAIT
 Since 1964

Site Plan

UNAUTHORIZED CHANGES AND USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from sole negligence of design professional.

Engineers Note to Contractor:

The existence and location of any underground utilities, pipes, and/or structures shown on these plans were obtained by a search of available records. To the best of our knowledge, there are no existing utilities except as shown on these plans. The contractor shall ascertain the true vertical and horizontal location and size of those to be used of any underground utilities and shall be responsible for any damage to any public or private utilities, shown or not shown hereon.



BENCHMARK:

BENCH MARK NO. V-12R 2003
 ELEVATION = 3178.86
 N/W CORNER BEAR VALLEY ROAD
 AND AMARGOSA ROAD AT BCR.

PROJECT DIRECTORY	
DEVELOPER:	VANTAGEONE REAL ESTATE INVESTMENTS, LLC 4 CORPORATE PLAZA DRIVE, SUITE 210 NEWPORT BEACH, CA 92660 TEL: (949) 631-6620 FAX: (949) 903-3818 THOMAS ROBINSON
CIVIL ENGINEER:	TAIT & ASSOCIATES 11280 TRADE CENTER DRIVE RANCHO CORDOVA, CA 95742 TEL: (916) 669-1821 FAX: (916) 635-2606 STAN IVERSON
GEOTECHNICAL ENGINEER:	SALEM ENGINEERING GROUP, INC. 11650 MISSION PARK DRIVE, #108 RANCHO CUCAMONGA, CA 91730 TEL: (909) 980-6455 FAX: (909) 980-6435 R. SAMY SALEM

UTILITY COMPANY	CONTACT NAME	PHONE NO.
SANITARY SEWER & STORM WATER CITY OF VICTORVILLE	DAVE COCKRUM	(760) 955-5158
WATER CITY OF VICTORVILLE	DAVE COCKRUM	(760) 955-5158
FIRE SAN BERNARDINO COUNTY FIRE	KIM COLVER	(760) 955-5227
ELECTRICITY SOUTHERN CALIFORNIA EDISON	DEANGELO MC VAY, JR.	(800) 655-4555
GAS SOUTHWEST GAS CORPORATION	TERRI ROBERTS	(877) 860-6020
TELEPHONE FRONTIER COMMUNICATIONS	-	(855) 504-4913
CABLE TV CHARTER COMMUNICATIONS	-	(866) 499-8080

NPDES WDID NO. 6B36C377869

INITIAL DATE: 04/07/16
 RE-ISSUE DATE:
 REVISIONS
 JOB NUMBER

C-O
 CB 180 11F Page 12 of 33

DOOR & WINDOW IDENTIFICATION
NOTE: SEE SHEET A-12 FOR DOOR & WINDOW SCHEDULE

XX	DOOR IDENTIFICATION
X	WINDOW IDENTIFICATION

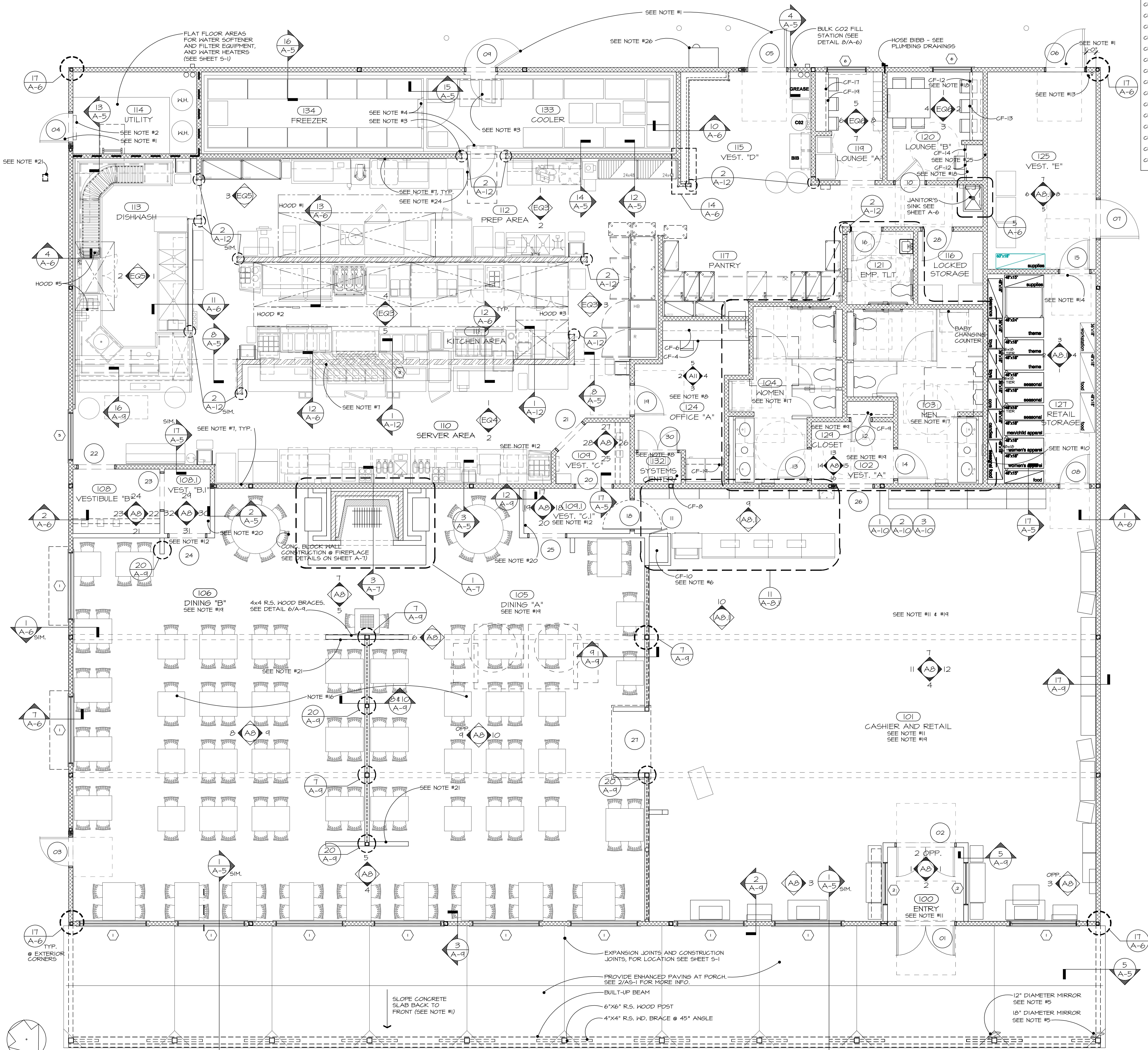
CONTRACTOR FURNISHED MILLWORK

ITEM	REFERENCE
CF-1	COUNTER OVER SAFE AND FILE CABINET SEE SHEET A-11
CF-2	OPEN
CF-3	OPEN
CF-4	OFFICE DESK COUNTER SEE SHEET A-11
CF-5	OPEN
CF-6	OFFICE DESK O/H CABINET SEE SHEET A-11
CF-7	OPEN
CF-8	SYSTEMS CENTER SHELVING SEE ELEV. 6 ON SHEET A-11
CF-9	CLOSET SHELVING SEE NOTE 9 ON THIS SHEET
CF-10	CASHIER CLOSET SHELVING SEE NOTE 6 ON THIS SHEET
CF-11	OPEN
CF-12	LOUNGE 'B' CABINET SEE NOTE 18 ON THIS SHEET
CF-13	LOUNGE 'B' DESK COUNTER SEE ELEV. 3 ON SHEET EG-6
CF-14	LOUNGE 'B' DESK COUNTER SEE ELEV. 1 ON SHEET EG-6
CF-15	OPEN
CF-16	LOUNGE 'A' SHELVES & CABINET SEE ELEV. 7 ON SHEET EG-6
CF-17	LOUNGE 'A' SHELVES & CABINET SEE ELEV. 6 ON SHEET EG-6
CF-18	LOUNGE 'A' DESK COUNTER SEE ELEV. 7 ON SHEET EG-6
CF-19	LOUNGE 'A' DESK COUNTER SEE ELEV. 6 ON SHEET EG-6

- NOTES**
- SEE CIVIL & STRUCTURAL PLANS FOR LOCATION & ELEVATIONS OF EXTERIOR CONCRETE PORCH SLABS, UTILITY PADS, & SIDEWALKS
 - PROVIDE (2) SETS OF 'AS BUILT' DRAWINGS & SPECIFICATIONS AT THE CONCLUSION OF THE PROJECT. STORE ONE SET IN A 4'-0" LONG BY 2" DIAMETER PVC TUBE W/ END CAPS, ATTACHED TO THE UTILITY ROOM WALL ABOVE DOOR. DELIVER OTHER SET IN CD FORMAT TO THE ATTENTION OF THE PROJECT MANAGER AT THE CRACKER BARREL CORPORATE HEADQUARTERS.
 - CLOSURE STRIPS ADJACENT TO FREEZER & COOLER SHALL BE PROVIDED BY THE KITCHEN EQUIPMENT SUPPLIER AND INSTALLED BY THE CONTRACTOR.
 - VINYL CURTAINS AT FREEZER & COOLER DOORS SHALL BE FURNISHED & INSTALLED BY THE KITCHEN EQUIPMENT SUPPLIER.
 - 12" & 18" DIAMETER SECURITY MIRRORS PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR AT THE TOP OF HOOD POST. SEE DETAIL AT 1/A-5.
 - SEE ELEVATION 33 A/B ON SHEET A-8 FOR DETAILS ON SHELVING AND KV BRACKETS INSTALLED BY G.C.
 - CONTRACTOR TO EXTEND PLYWOOD SHEATHING ON WALLS ABOVE CEILING TO PROVIDE ADDED SUPPORT FOR WALL-HUNG ITEMS. SEE 1/A-6 & EG SHEETS
 - SEE ENLARGED PLAN DETAILS, & ELEVATIONS OF OFFICE & SYSTEMS CENTER ON SHEET A-11.
 - CONTRACTOR TO PROVIDE & INSTALL (3) 16" DEEP FIXED WOOD SHELVES AT 24", 42" & 60" AFF. AT CLOSET. ALL SHELVES TO BE WILSONART D-66-60 'SHADOW' LAMINATE W/ MATTE FINISH. STANDARDS & BRACKETS BY OWNER.
 - OWNER TO PROVIDE & CONTRACTOR TO INSTALL (6) 4'-0" KV STANDARDS STARTING AT 42" AFF. W/ BRACKETS REQUIRED TO SUPPORT (3) 17" x 16" x 8'-0" LONG SHELVES STARTING FROM THE LEFT CORNER ABOVE THE GIFT SHOP STORAGE WORK COUNTER. SEE ELEV. 2/A-8. (SHELVES PROVIDED BY CONTRACTOR.)
 - SEE NOTE 1 & DTL. 17 ON SHEET A-9 FOR INFORMATION ON KV STANDARDS, BRACKETS, & SHELVING IN CASHIER AND RETAIL AREA.
 - SEE INTERIOR ELEVATIONS ON SHEETS A-8 AND A-8.1 FOR INFORMATION REGARDING WALL-MOUNTED ITEMS.
 - INSPECTOR'S TEST VALVE LOCATION.
 - G.C. TO PROVIDE AND INSTALL A 24" DEEP x 108" LONG WOOD SHELF ABOVE THE RETAIL STORAGE EXIT DOOR. SEE DETAIL 3/A-8.1.
 - OPEN
 - OPEN
 - SEE ENLARGED PLAN DETAILS & INTERIOR ELEVATIONS FOR TOILET ROOMS ON SHEET A-10.
 - OWNER TO PROVIDE & CONTRACTOR TO INSTALL (3) KV STANDARDS ABOVE COUNTER. INSTALL BRACKETS TO SUPPORT. CONTRACTOR TO FINISH AND INSTALL LOCKABLE WALL CABINET W/ (3) ADJUSTABLE SHELVES. CABINET TO HAVE WILSONART D66-60 'SHADOW' LAMINATE W/ MATTE FINISH. CONTRACTOR TO PROVIDE & INSTALL CABINETS AND (3) 14" WHITE LAMINATE SHELVES ON OWNER-FURNISHED KV STANDARDS
 - ALL INTERIOR ROUGH-SAWN PLYWOOD, TRIM, & BATTENS SHALL BE FIR OR WESTERN RED CEDAR.
 - RECESSED DIMMER PANEL. SEE DETAIL 12/A-8.1.
 - SEE INTERIOR ELEVATIONS 5 & 4/A-8 AND DTL. 10/A-9 FOR LOW WALL VERTICAL DIMENSIONS.
 - CONTRACTOR TO INSTALL WOOD TRIM BETWEEN BATTENS AT REAR OF BUILT-IN CABINETS/ COUNTER. SEE ELEVATION 1/A-8 & DETAIL 13/A-8.1.
 - OPEN
 - GENERAL CONTRACTOR TO INSTALL (2) WALL STOPS (HIGH AND LOW) AT LEFT JAMB OF COOLER DOOR TO RESTRICT DOOR SWING FROM MAKING CONTACT WITH ADJACENT KITCHEN EQUIPMENT. SEE DOOR SCHEDULE AT A-12 FOR WALL STOP TYPES.
 - SMOKE WALL AROUND STORAGE LEDGE ABOVE LOUNGE 'B'. (SEE SHEET A-11)
 - MAIN ELECTRIC DISCONNECT AND METER, SEE ELECTRICAL DRAWINGS
- NOTE:**
ALL MASONRY BLOCK WALLS SHALL BE REINFORCED WITH ONE #5 REBAR VERTICAL AND CORE FILLED WITH 3000 PSI CONC. AT THE FOLLOWING LOCATIONS: AT ALL JAMBS, END WALLS, WALL CORNERS, AND ALONG WALLS AT 8'-0" O.C. MIN. TYP. AT FOUNDATION WALLS.

WALL LEGEND

[Symbol]	WOOD FRAMED HALL - SEE SHEET A-2 FOR FRAMING SIZES (UNLESS NOTED OTHERWISE). INTERIOR WALLS RECEIVE DOUBLE COMPOSITE PLATES (CURB). SEE DETAIL #15, SHEET A-9 FOR CURB DETAIL. EXTERIOR WALLS TO RECEIVE 2x6 PR. TR. SINGLE BASE PLATES. SEE WALL SECTIONS ON SHEETS A-3 & A-6
[Symbol]	WOOD FRAMED HALL - SEE SHEET A-2 FOR FRAMING SIZES (UNLESS NOTED OTHERWISE).
[Symbol]	6" METAL STUD WALLS, UNLESS NOTED. SEE SHEET A-2 FOR SIZES AND LOCATIONS
[Symbol]	INSULATED INTERIOR WALLS SEE SHEET A-2 FOR LOCATIONS
[Symbol]	SMOKE PARTITION - SEE 13 & 17/A-5 AND DTL. 3/A-11



DEPICTIVE FLOOR PLAN (SCALE: 1/4" = 1' - 0") **SEATING CAPACITY 180**

CRACKER BARREL, INC. 10777 HARBOR DRIVE, ROCKVILLE, VA 20154
CRACKER BARREL
OLD COUNTRY STORE
 500 ARMARGOSA RD. &
 SYCAMORE ST.
 VICTORVILLE, CA 92393

Cracker Barrel
 P.O. Box 787
 Hartmann Drive, Lebanon, TN 37087



LYONS WARREN
 architects + engineers
 9550 Canfield St.
 San Diego, CA 92128-4560
 TEL: 619.594.8888
 FAX: 619.594.8888
 lyons@lyonswarren.com

DEPICTIVE FLOOR PLAN

INITIAL DATE: MAY, 01 2017
 RE-ISSUE DATE:
 REVISIONS:
 JOB NUMBER:

A-1
 CB 180 JTF Page 18 of 33

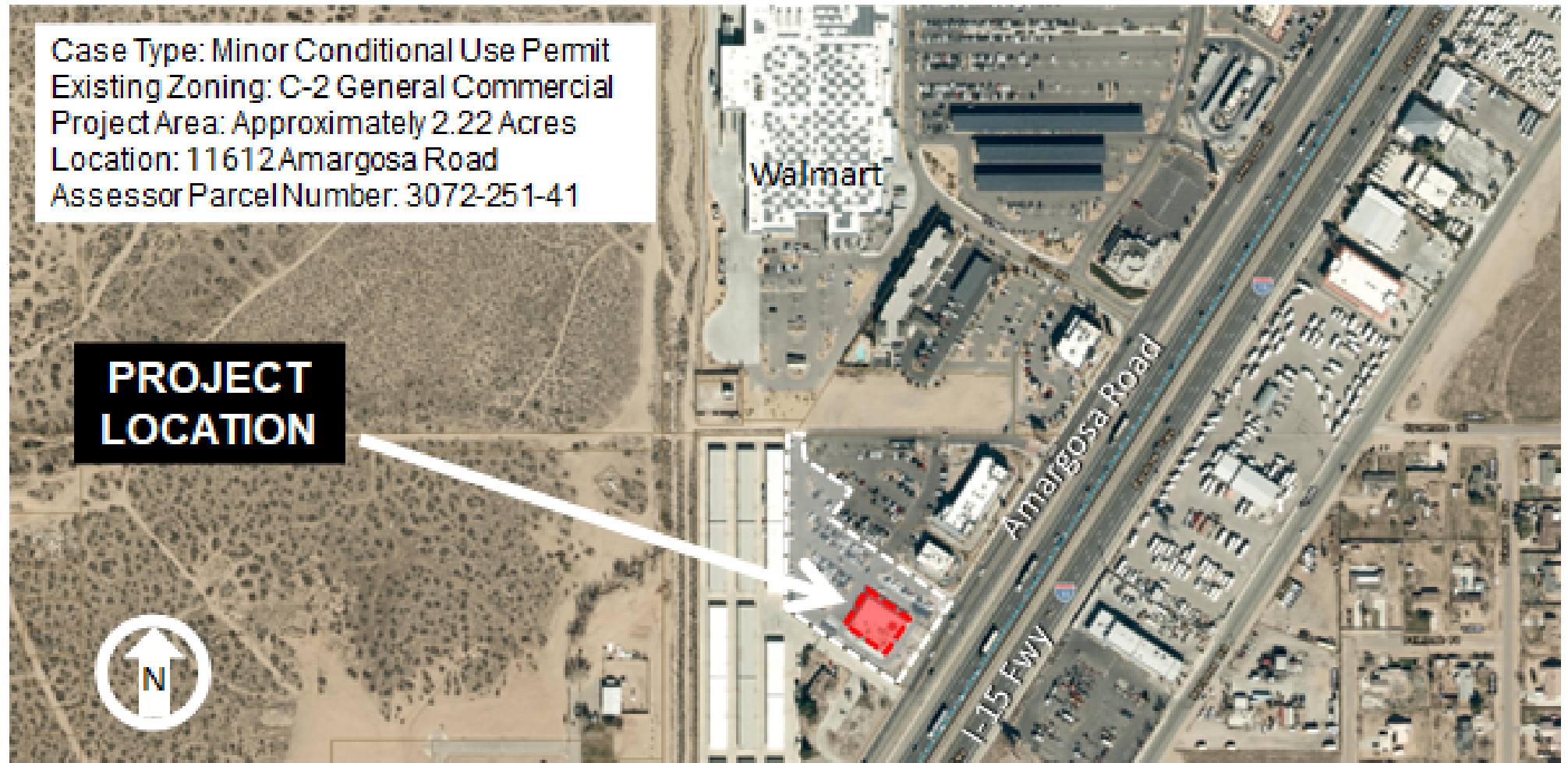
**THIS PAGE LEFT
BLANK
INTENTIONALLY**

ATTACHMENT B

CASE: ADMN22-00092

Case Type: Minor Conditional Use Permit
Existing Zoning: C-2 General Commercial
Project Area: Approximately 2.22 Acres
Location: 11612 Amargosa Road
Assessor Parcel Number: 3072-251-41

**PROJECT
LOCATION**





ZONING ADMINISTRATOR STAFF REPORT

DATE: OCTOBER 19, 2022 **AGENDA NO. 2**

CASE: ADMN22-00112

SUBJECT: A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR A NON-PROFIT KOREAN SOCIAL SERVICES RESOURCE AND COMMUNITY CENTER

APPLICANT: HD GRACE VISION CENTER

LOCATION: 15378 RAMONA AVENUE

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

- 1. Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301(a) – Existing Facilities; and
- 2. Minor Conditional Use Permit** – Approve Minor Conditional Use Permit Case No. ADMN22-00112 subject to the recommended Conditions of Approval.

II. SUMMARY:

The applicant is requesting approval of this Minor Conditional Use Permit to allow for a resource and community center that will serve the High Desert Korean population with a range of services that include English language and sign language classes, fitness and recreation classes, personal and professional counseling, and informative community meetings. The applicant, who recently obtained non-profit status, currently operates from a church in Phelan but wishes to relocate the non-religious aspects of the business to this new location on Ramona Drive. The goal of this facility, according to the applicant, is to assist the growing High Desert Korean American community by providing social and educational resources that will allow further integration into the local community.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for projects involving the operation and permitting of structures that include no expansion of use. The use of the vacant commercial building for a Community Center will not constitute an expansion of use as tenant improvements including interior partitions, as well as plumbing and electrical modifications within the existing building are listed as categorically exempt by CEQA Section 15301(a). Therefore, Staff finds this categorical exemption applicable to the proposed use.

2. Minor Conditional Use Permit.

- The site is comprised of one 5,520 square foot building located along Ramona Avenue approximately 400 feet east of Amargosa Road, zoned Regional Resource within the Civic Center Community Sustainability Specific Plan. The site was historically occupied by an Options for Youth charter school from 2013 to 2019, and an independent drop-in study center up from 2019 to 2021. The proposed community resource center is in line with previous assembly type uses that have occupied the site in regard to hours of operation and vehicle trips.
- Non-profit services are listed as conditionally permitted within the underlying Regional Resources zone of the Civic Center Community Sustainability Specific Plan. HD Grace Vision Institute has provided evidence of the filing for non-profit status, in addition to a business proposal that includes a number of community resources to be provided that are in alignment with the intent of the Regional Resources zone.

Business Operations

- The proposal includes operational hours of Wednesday through Sunday from 7am until 4pm. There will be a minimum of three staff members on-site throughout the day at the Community Resource Center with additional volunteers as needed. Staff will oversee approximately 30 adults throughout the day. Instructors will be primarily retired professionals (i.e. professors, medical professionals, attorneys) as well as currently licensed fitness trainers, teachers, and therapists who will offer a variety of classes and provide resources. Classes will consist of health education (including explanation of medical benefits, health related informational seminars, and interpretation of doctor's notes), professional business assistance (retired business professionals will help with resume writing, job training, and employment searching), fitness instruction (line dancing and other fitness courses will be offered), individual and group counseling, language courses, and as a meeting place for local Korean community clubs. Other classes and services may be offered or modified in the future as needs develop, subject to the review of the Zoning Administrator per Condition #1.

Current Operations

- HD Grace Vision Center currently offers some of the programs and services listed above at a church location in Phelan. In addition, many of the members of the HD Grace Vision Center travel to other various unaffiliated community centers throughout Southern California including the Hanmi Korean-American Family Counseling Center in Stanton, the Orange County Korean American Health Information and Educational Center in Garden Grove, and the Korean American Special Education Center in Anaheim for additional services. While some of these centers provide very specialized services that will not be replicated at the proposed Ramona Avenue location, many similar services will be offered. This will allow the center's members to avoid travel and remain within the High Desert to further integrate into the local community, according to the applicant.

Parking

For Assembly uses such as social halls within the Civic Center Community Sustainability Specific Plan, 1 parking space is required per 35 square feet of

assembly area with non-fixed seats along with 1 additional parking space per classroom or secondary assembly areas. The floor plan provided shows an approximately 2,560 sq. ft. "Main Meeting Hall" in addition to four "classroom" or secondary assembly areas (e.g. 1 language room, 1 social office, 1 fitness room, and 1 mental and physical health office). Based on these regulations, a total of 77 spaces would be required $[(2,560 \text{ sq. ft.} / 35 \text{ sq. ft.} = 73 \text{ spaces}) + (4 \text{ classrooms} = 4 \text{ spaces}) = 77 \text{ spaces}]$. Though there are only 49 parking spaces on-site currently, Staff finds based on the applicant's proposal, that the number of parking spaces provided on-site is sufficient to serve the proposed use as the applicant has indicated that the maximum number of people on-site at any given time is 35. However, should a parking problem arise in connection with this use, Staff has included Conditions #5, #6, and #7 requiring the business to address the parking concerns subject to the review and approval of the Zoning Administrator.

Site Condition

- The site is fully developed but has been vacant for nearly two years since it was last occupied by a drop-in tutoring center. Generally, the site appears neglected and requires clean up and repair, including asphalt crack repair, landscape maintenance and replacement, and trash enclosure compliance to City standards including metal gates. To address these substandard conditions, Staff has included Conditions #8, #9, & #11 requiring the applicant to remedy these issues prior to the issuance of a Business License and Certificate of Occupancy.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code and the Specific Plan.*
 - Comment: The underlying Regional Resource zoning of the property conditionally permits non-profit services such as counseling, community health and welfare, and assistance. The applicant, who has provided proof of their non-profit filing, provided a business proposal that outlines numerous public services and community resources in line with the intent of the Regional Resources zone. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
 - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of Specific Plan with a zoning designation of Regional Resource that conditionally allows for the proposed business type. The Land Use Element of the General Plan requires that the integrity of each land use district be maintained in an effort to protect existing development from intrusion by new incompatible land uses. The community resource centers uses proposed at this site are in line with the intent of the Regional Resource zone and are compatible with the surrounding office developments. Staff finds that the proposal is consistent

with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.

- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: Since the proposed use will utilize hours of operation which are similar to existing office uses in the area that operate without overloading the capacity of the roadways, the proposal is not anticipated to overload the surrounding street system or include impacts greater than those that similar uses would generate during peak hours.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16 and the Civic Center Sustainability Specific Plan.*
 - Comment: The existing site is fully developed and includes mature landscaping within existing parking lot planters that will be in accordance with current Specific Plan and Municipal Code requirements with some minor maintenance and replacement. Additionally, non-profit organizations providing community resources are listed as a conditional use within the underlying Regional Resource zoning of the Civic Center Community Sustainability Specific Plan. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16 and the Specific Plan.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Commercial Building	Specific Plan	S-P	RR
North	Government Office	Specific Plan	S-P	RR
South	Car Dealership	Specific Plan	S-P	CVM
East	Vacant	Specific Plan	S-P	RR
West	Parking Lot	Specific Plan	S-P	RR

NUMBER OF RADIUS LETTERS MAILED: 20

DK

Attachments:

- Attachment A – Business Proposal
- Attachment B – Site Plan and Floor Plan
- Attachment C – Aerial Image

CONDITIONS OF APPROVAL
ADMN22-00112
October 19, 2022

A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR A KOREAN NON-PROFIT SOCIAL SERVICES AND RESOURCE CENTER AT PROPERTY ZONED REGIONAL RESOURCE WITHIN THE CIVIC CENTER SUSTAINABILITY SPECIFIC PLAN LOCATED AT 15378 RAMONA AVENUE.

Planning Conditions:

1. This Minor Conditional Use Permit approval is to allow for a Community Resource Center located at 15378 Ramona Avenue. Hours of operation are limited to Wednesday thru Sunday between the hours of 7 AM to 4 PM. The Community Resource Center is permitted to provide services that include English language and sign language classes, fitness and recreation classes, personal and professional counseling, and informative community meetings, serving up to 35 individuals at a time. The Zoning Administrator reserves the right to adjust, modify, or add functions & times upon written request from the applicant and/or property owner/manager, providing any change is in accord with the findings presented in the accompanying Staff Report.
2. The proposed use shall comply with all reasonably applicable development standards of Title 16 and the Civic Center Community Sustainability Specific Plan.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this conditional use permit, unless modification is required to comply with the applicable development standards of Title 16, the Specific Plan, and/or conditions of approval.
4. Any expansion of this proposed use beyond the scope of this minor conditional use permit shall require submission and approval of a minor conditional use permit modification or a new minor conditional use permit based upon the extent of the expansion.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 and the Civic Center Community Sustainability Specific Plan shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval. This includes the addition of programs or services which causes a parking problem to develop.
6. Should the City of Victorville receive complaints from patrons or adjacent neighbors of the site indicating a parking deficiency, the Zoning Administrator reserves the right to review the use and modify, revoke, or suspend the Conditional Use Permit in accordance with Title 16 guidelines.
7. Should a parking deficiency arise or be reported to the Planning Department due to excessive number of students or employees, the applicant/business owner shall modify their classes or schedules to correct the problem, subject to Zoning Administrator review and approval.
8. All parking areas and access thereto, including access to the trash enclosure, shall be repaired prior to the issuance of a Business License or Certificate of Occupancy. Repair shall include repaving, patching and/or slurry coat & seal as needed to repair broken and

weathered asphalt throughout the site. Additionally, all parking spaces and directional arrows shall be restriped prior to the issuance of a Business License or Certificate of Occupancy

9. Prior to the issuance of a Business License or Certificate of Occupancy, the permit process must begin to provide a trash enclosure in conformance current code. Construction of said enclosure must be completed within six-months of occupancy. The enclosure shall be architecturally compatible with the building design with matching colors and materials and meet Title 16 standards (e.g. pedestrian access). Additionally, in accordance with the City's Small MS4 Permit, a solid roof/cover that is architecturally compatible with the primary building onsite and serves to protect the refuse area from inclement weather shall be provided, as well as wrought iron that fully encloses the trash enclosures between the block wall/metal gates and the roof to prevent unauthorized entry. (See Section 16-3.10.060(d)(2) & Sec. 16-3.24.110).
10. The applicant shall provide proof of instructor certification and/or training credentials for all instructors subject to Zoning Administrator review and approval.
11. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
12. Prior to the issuance of a Business License or Certificate of Occupancy decorative rock a minimum $\frac{3}{4}$ in size or other ground cover approved by the Zoning Administrator to match existing shall be provided in all landscape planters with a weed barrier where dirt/soil is exposed.
13. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. Painted and off-site signs are prohibited, and all signs shall be subject to Planning Staff review and approval prior to obtaining a sign permit.
14. All proposed temporary signage shall comply with Title 16 and Specific Plan requirements. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
15. Special events and/or any use proposed outdoors shall be required to obtain Temporary Use Permit or Conditional Use Permit Modification at the discretion of the City Planner.
16. The applicant/business owner shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
17. The handling and disposal of construction and demolition waste for the project shall comply with 6.36.040 of the Victorville Municipal Code. In summary, only the City of Victorville's employees working in their official capacity and the City's waste handling contractor, Victorville Disposal (Burrtec Waste), are authorized to provide solid waste handling services from any and all premises in the City; and no person other than those above specified shall provide solid waste handling services, convey or transport any solid waste material in, along or over any public street, alley or highway in the City, with the exception of solid waste removed from any

premises by the waste generator, and which is transported personally by such waste generator (or his/her employees) to a processing or disposal facility in a manner consistent with all applicable laws and regulations, utilizing equipment owned and/or leased by the waste generator.

18. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Building Conditions:

19. The project shall comply with all building codes in effect at the time of plan submittal.
20. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
21. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

Fire Conditions:

22. Shall comply with all 2019 Building and Fire Code requirements based on occupancy classification.
23. If a new or modified fire sprinkler system is proposed, plans shall be submitted prior to construction.
24. If a new or modified fire alarm system is proposed, plans shall be submitted prior to construction.
25. Knox Box/Key Box is required and shall be provided and installed in accordance with Fire Department Standards.

**THIS PAGE LEFT
BLANK
INTENTIONALLY**

ATTACHMENT A

HD Grace Vision Center

Business Plans

Per your request, we are submitting a thorough business plan as follows:

We have a vast and variety of professional and experienced instructors, teachers, nurses, and others who will be providing many services to both English/Korean speaking people, especially concentrated around high desert area. All services are listed but not limited to the followings.

As for **the Social Room**, which will be our main event place where Mrs. Han, and Mrs. Joo who are currently conducting Medical/Medicare services for many retired seniors. These two will be holding classes to inform many possible benefits that seniors entitled to receive. Classes will be held on first Friday of each month from 7:00 to 9:00 in the evening. We are expecting close to 20-30 people to be participated and be beneficial.

Not only informative meetings like this, this room also will be used for Korean Community Center, and Korean Elder Community Center where community meetings will be held to discuss and plan their agenda.

As for the **Language Room**, Mrs. In-Joo Kang, who currently provide a directly translation of sermon, will offering a class to educate sign language to those who are interested. Not only classroom lessons will be taught every Sundays from 2:00 to 4:00 pm, she also will provide this same valuable lessons thru Zoom meeting on Mondays.

As for the English as a second language people, Mrs. Ann Kang and Mathew Lee who have credentials, will teach reading, writing, and speaking. This will be very educational for many who desires to learn. Classes will be held on Saturdays from 8:00 to 10:00 in the morning, and 12:00 to 2:00 in the afternoon. We will expecting about of 30 students.

By a popular demanded, every Thursday from 7:00 to 9:00 in the evening, a line dance class at the **Fitness Room** will be opened. Shannon Uyehara who obtained instructor license will be coaching about 10 seniors who desire to be socialized and have fun. This will helpful seniors maintain their physical health.

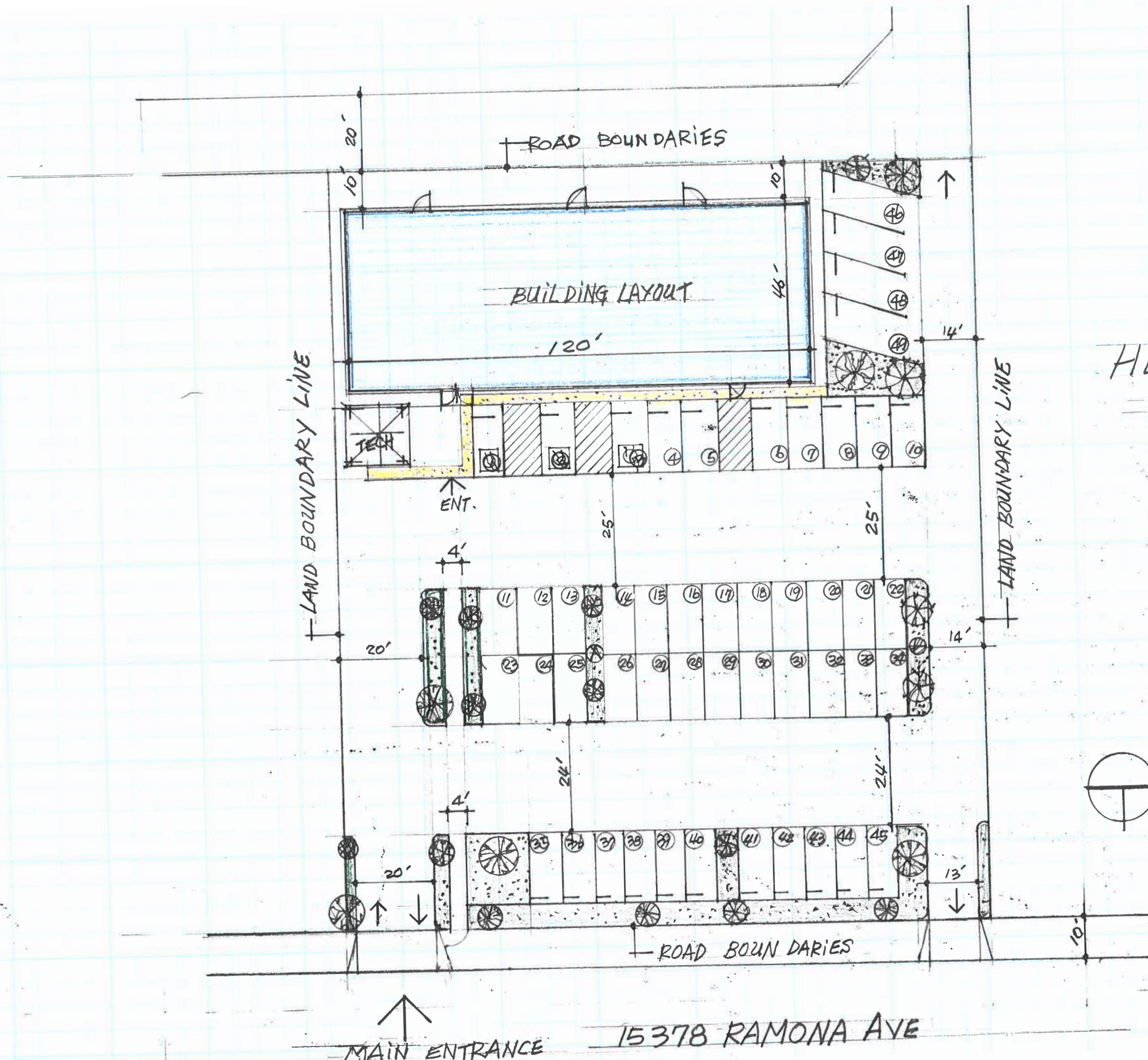
Shannon Uyehara is also planning to provide fitness training to those who are interested to maintain one's health. Fitness Classes will be held every Wednesday and Saturday mornings from 7:00 to 10:00 in the morning. We are expecting to have close to 10-15 people to participate.

Mental & Physical Health Room

As needed bases or annual medical check-up, we will be setting up table to provide acupuncture and /or medical consultation. We retired nurses who can assist these kind of services.

Sincerely Yours,

ATTACHMENT B



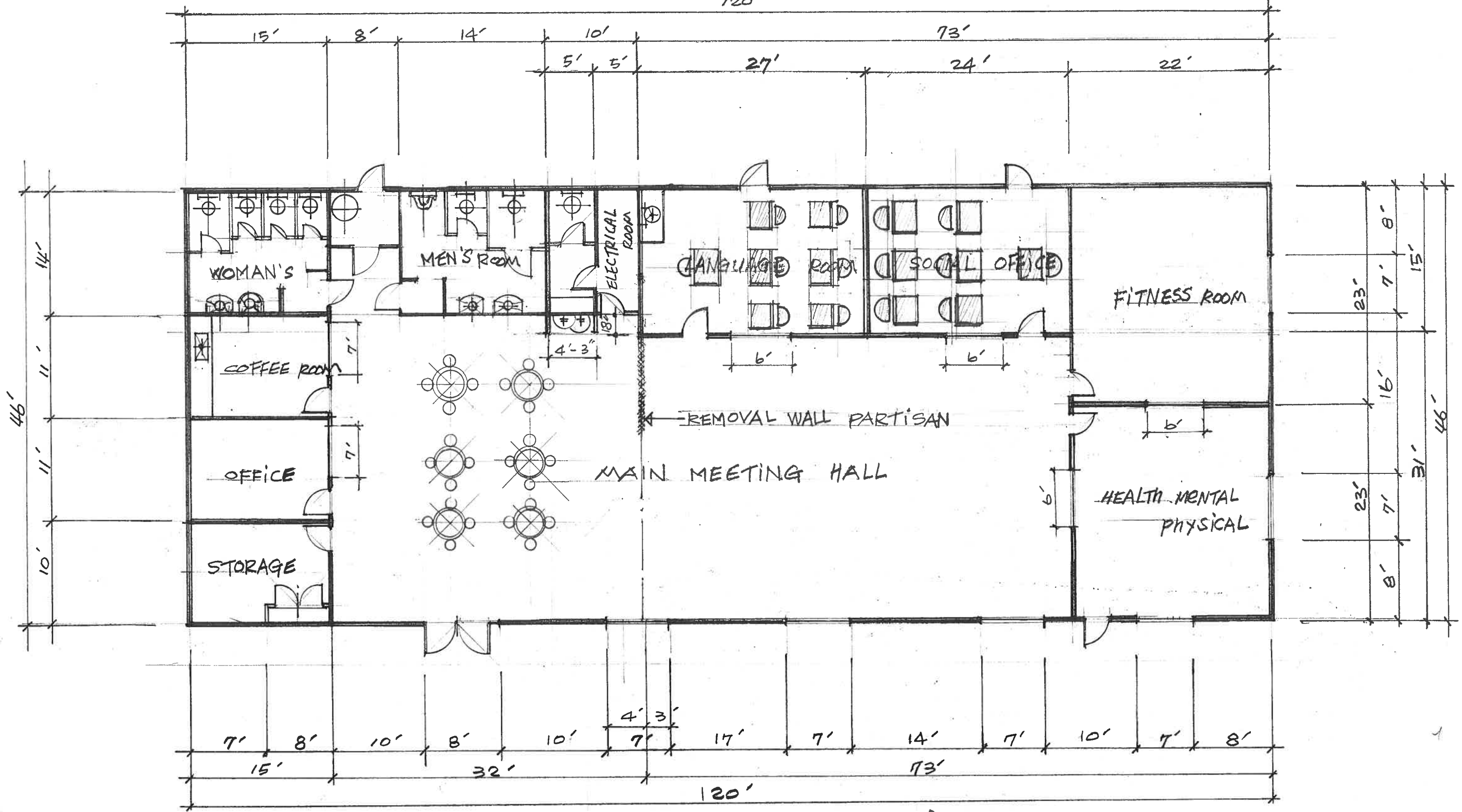
HD GRACE VISION CENTER
 15378 RAMONA AVE

LAYOUT AND PARKING PLANS
 SCALE: 1/500

CHEOL OCK LEE of [Signature]

HD GRACE VISION CENTER

120'



8. FURNITURE ARRANGEMENT.

1ST FLOOR PLAN
SCALE : 1/200

CHEOL OCK LEE.

**THIS PAGE LEFT
BLANK
INTENTIONALLY**

ATTACHMENT C



SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

cj