

# *The Crossings*

## *Specific Plan and Design Guidelines*

*February 6, 2007*

*Prepared By*

QUADRANT



PLANNING



KTGY GROUP, INC.

Architecture Planning

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# ***THE CROSSINGS***

## ***SPECIFIC PLAN AND DESIGN GUIDELINES***

***CITY OF VICTORVILLE***

**Last Revised by SPA-04-002 on February 6, 2007**

**Revisions Marked by Asterisk**

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# **THE CROSSINGS SPECIFIC PLAN**

February 6, 2007

## **CITY OF VICTORVILLE CITY COUNCIL**

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## **CITY MANAGER**

Jon Roberts

## **DIRECTOR OF DEVELOPMENT**

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# SECTION I - INTRODUCTION

## A. CONTENTS

The Crossings Specific Plan provides land use planning, development standards, design guidelines and implementation procedures for approximately 449\* acres of land located in the City of Victorville.\* Refer to the Regional and Vicinity Maps, Exhibits 1 and 2, respectively, for the location of the property.

This Plan addresses the growing demand for a variety of housing types in a well designed community setting. This community includes a variety of neighborhoods. Many neighborhoods are interconnected through an extensive open space framework that includes a system of trails. A community theme wall, neighborhood entry monuments and enhanced landscaping along major arterial roads will add to the overall character of the community. These community design standards, and other standards described within the various sections below, assure that The Crossings will develop as a high quality community that will be an asset to the City of Victorville.

The Crossings Specific Plan and its Design Guidelines will direct the actions of all participating builders, developers and individual property owners and homeowners, including their respective sub-associations. The criteria contained in the document are binding on any person, or entity, which intends to construct, reconstruct or modify any permanent or temporary improvement within The Crossings Specific Plan area. The enforcement of the Standards will ensure quality, visual continuity and consistency in design, as well as protection of property values.

The Master Developer of The Crossings Specific Plan is charged with developing the community in a comprehensive manner. In order for this to occur, the Master Developer is committed to providing all necessary infrastructure and services needed for the Plan's development.

## **THE CROSSINGS SPECIFIC PLAN CONSISTS OF SIX SECTIONS INCLUDING:**

### **I. Introduction:**

This section identifies the project, the purpose, and scope of the Specific Plan.

### **II. Environmental Background:**

Included in this section is a summary of existing conditions related to the environmental setting of the project area.

### **III. General Plan Relationship:**

The City's General Plan outlines a series of goals. This section provides a summary of how the Specific Plan implements these community goals.

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**IV. Development Components:**

This section includes descriptions of land use, circulation, infrastructure, and development regulations.

**V. Development Regulations:**

Overall design and development standards provide the framework to assure creation of a quality community.

**VI. Plan Implementation:**

Procedures and submittal/filing requirements for processing development approvals are defined. Community open space and maintenance are also covered.

EXHIBIT 1 – REGIONAL MAP

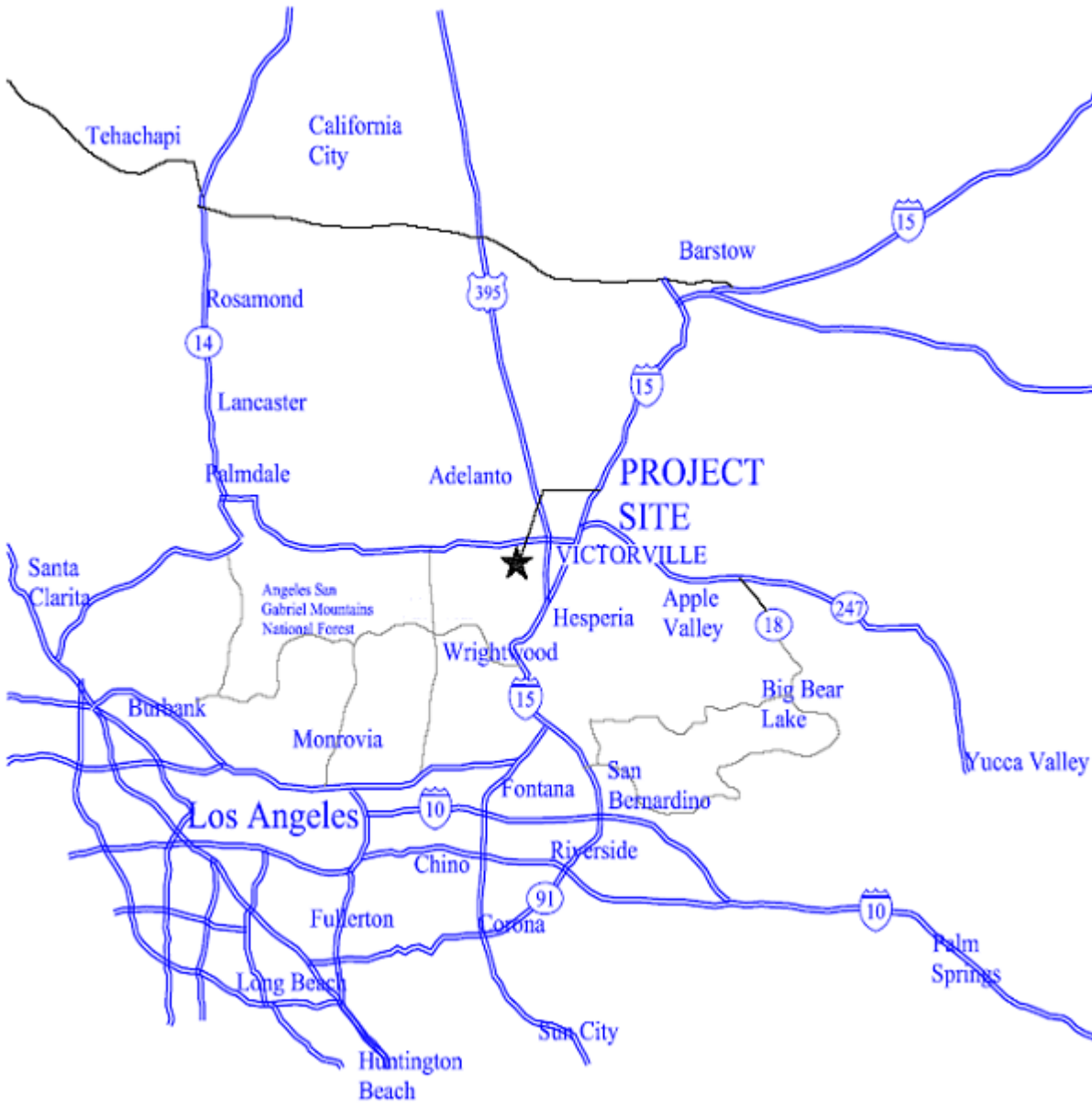
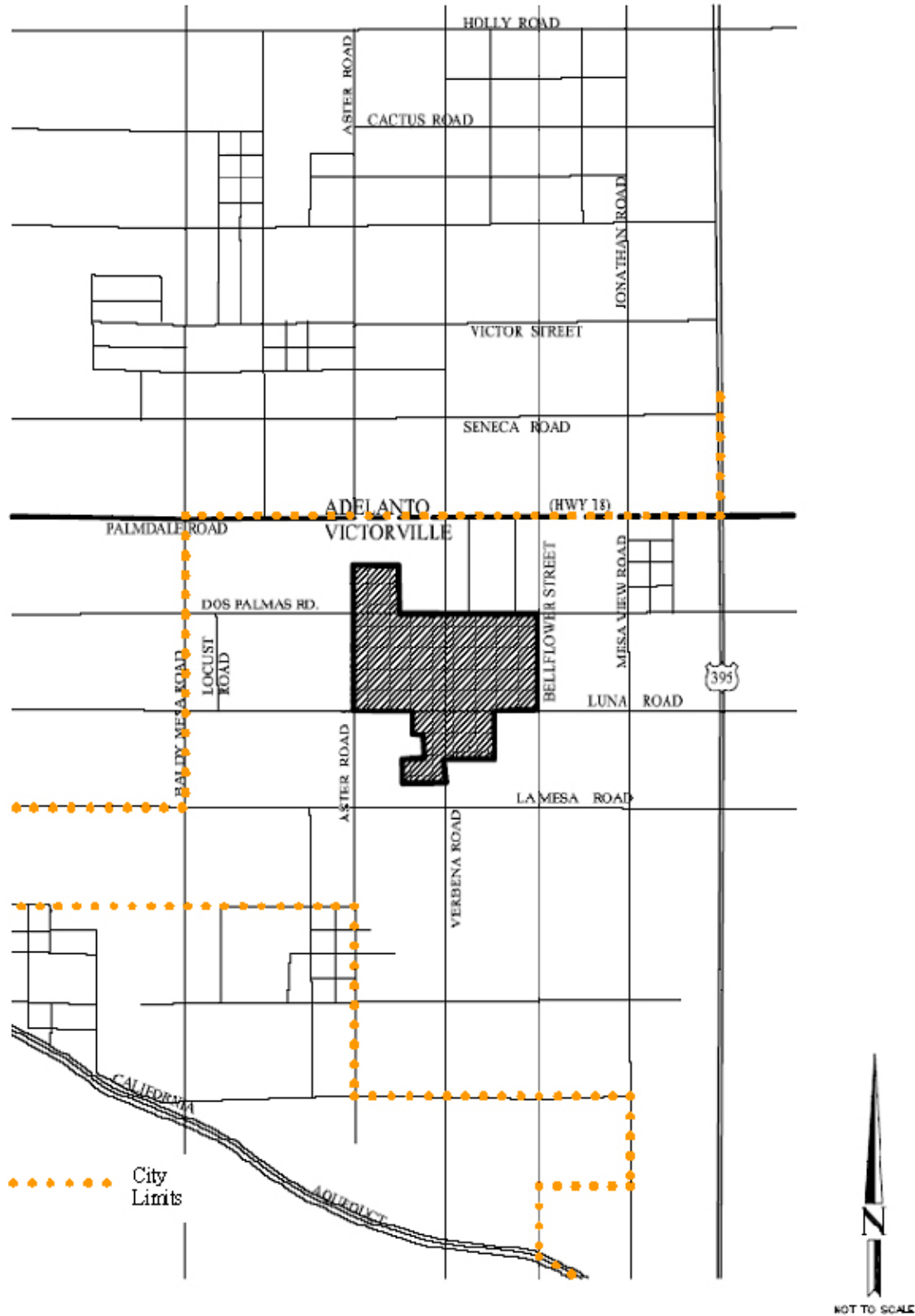


EXHIBIT 2 - VICINITY MAP



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## **B. PROJECT LOCATION**

The Crossings is comprised of approximately 449 acres of undeveloped land located in the western portion of the City of Victorville.\* The project lies east of Aster Road, west of Bellflower Street, south of Palmdale Road, and north of La Mesa Road. See Exhibits 1 and 2.

## **C. PURPOSE AND INTENT**

The policies, plans, and programs of the City of Victorville's General Plan establish the basic framework for development of The Crossings Specific Plan. The primary purpose of this Specific Plan is to implement the goals and policies of the City on a specific planning area basis.

The Specific Plan will serve both a regulatory and planning function, guiding the necessary community design, infrastructure, and public service requirements for the project.

The intent of The Crossings Specific Plan is to guide the physical development of land within the boundaries of the Plan area by:

- (a) Prescribing the land uses;
- (b) Establishing a process of development;
- (c) Establishing design criteria; and
- (d) Providing the criteria for project approval.

## **D. AUTHORITY FOR THE SPECIFIC PLAN**

The Crossings Specific Plan is created through the authority granted the City of Victorville by the California Government Code. The adoption of the plan by the City of Victorville is authorized by the California Government Code, Title 7, Division Chapter 3, Article 8, Sections 65450-65457, under this code. The Planning Commission must hold a public hearing before the Planning Agency can recommend the adoption of a specific plan. The City Council may then adopt a Specific Plan by ordinance or resolution. The California Government Code provides as follows:

“When it deems it to be for the public interest, the legislative body may initiate and adopt an ordinance or resolution establishing a Specific Plan or amendment thereto.”

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The California Government Code provides that a Specific Plan shall include the following elements:

(A) Text and a diagram or diagrams which specify all of the following in detail:

**1. LAND USE:**

The Specific Plan shall address the distribution, location, and extent of the uses of land, including open space, within the area covered by the Plan.

**2. PUBLIC AND PRIVATE TRANSPORTATION, INFRASTRUCTURE AND ESSENTIAL FACILITIES:**

The Specific Plan shall address the proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land uses described in the Plan.

**3. STANDARDS FOR DEVELOPMENT AND FOR NATURAL RESOURCES:**

The Specific Plan shall include standards and criteria by which development will proceed, and where applicable, standards for the conservation, development, and utilization of natural resources.

**4. PROGRAM OF IMPLEMENTATION MEASURES:**

The Specific Plan shall contain a program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out items (1), (2), and (3) above.

(B) The Specific Plan shall include a statement of the relationship of the Specific Plan to a particular jurisdiction's General Plan.

**E. APPLICATION**

The Crossings Specific Plan applies only to that property known as The Crossings Specific Plan area, as delineated on the land use maps in the body of the text and described in the legal description.

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## **SECTION II -ENVIRONMENTAL BACKGROUND**

### **A. INTRODUCTION**

The environmental background, as outlined below, describes the natural setting of the Specific Plan area, as well as the built environment of the surrounding locale. This analysis provides a basis for creating a Plan that is responsive to the existing conditions.

When developed in accordance with the Specific Plan, the project area would add a well thought-out and well-designed community to the western side of Victorville. The developed condition will enable the growing demand for housing in the region to be met.

In accordance with the City's General Plan goals and objectives, The Crossings has been designed as a master-planned community integrating a variety of housing opportunities with quality design and open space amenities. The project will develop in stages as economic and market conditions allow.

### **B. TOPOGRAPHY**

The project site is located on a gently sloping alluvial plain. One primary drainage wash traverses the northwesterly corner of site, providing a slight undulation to the property. Generally, the land slopes downhill to the northeast corner of the property at 1.5 percent. Elevations range from approximately 3,185 to 3,300 feet above sea level.

### **C. GEOLOGY**

As a result of proximity to the San Gabriel and San Bernardino mountains, the surficial geology on site is primarily alluvium. The alluvium consists of sand and well-bedded silts. In terms of development, the soils will be suitable for structures with proper excavation and compaction as identified in the soils report.

### **D. GEOLOGIC STRUCTURE**

The property is not located near any seismically active fault zones. The Helendale Fault is located to the north; however, it does not have significant earthquake potential relative to other faults in the region. See Exhibit 3.

### **E. SOIL CHARACTERISTICS**

There exist four distinct soil groups within the property. They include Bryman, Cajon and Helendale soils. These soils are consistent with the overall Mojave Desert alluvial plain areas. See Exhibit 4.

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## **F. HYDROLOGY/SURFACE WATER**

The drainage pattern of the site flows gently towards the Mojave River, in a northeasterly direction. No standing surface water occurs within the site. One pronounced drainage course traverses the site. See Exhibit 5.

## **G. GROUNDWATER**

Ground water depths vary in the area, increasing in depth as distance from the Mojave River increases. Depth to ground water on the site is over 100 feet.\*

## **H. WATER QUALITY**

The Baldy Mesa Water District provides service to the site. Water is drawn from a variety of wells in the area with a generally high domestic water quality.

## **I. BIOTA**

### **Native Flora**

On site investigation identifies the vegetation throughout the entire site consists of a creosote bush (*Larrea tridentata*) community, typical of the area. Other common plants included burrobush (*Franseria dumosa*), paperbag plant (*Salazaria mexicana*), Joshua tree (*Yucca brevifolia*), Russian thistle (*Salsola iberica*), ephedra (*Ephedra nevadensis*), cheesebush (*Hymenoclea salsola*), and matchweed (*Gutierrezia sarothrae*). Other perennials observed included winterfat (*Kraschenikovia lanata*), spiny hop-sage (*Grayia spinosa*), and saltbush (*Atriplex* sp.). Annuals that occur on the site included fiddleneck (*Amsinckia* sp.), buckwheat (*Erigonum* sp.), bunchgrass (*Phleum* sp.), Indian ricegrass (*Orzopsis* sp.), and erodium (*Erodium* sp.)

The final report of the existing flora prepared by RCA Associates, Inc is a separate document. This report summarizes the anticipated impacts to native plant-life associated with the proposed development are minimal, as there are no State or Federally listed endangered or threatened species on site.

### **Native Fauna**

A complete assessment for wildlife has been completed for the proposed development. This assessment was prepared by RCA Associates, Inc and is a separate document. Wildlife observed on the site-included coyotes (*Canis latrans*), antelope ground squirrels (*Ammospermophilus leucurus*), jackrabbits (*Lepus californicus*), and Merriam's kangaroo rats (*Dipodomys merriami*). Several birds were observed including ravens (*Corvus corax*), horned lark (*Eremophila alpestris*), morning dove (*Zenaida macroura*), American robin (*Turdus migratorius*), sage sparrow (*Amphispiza belli*), cactus wren (*Campylorhynchus brunneicapillus*), song

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EXHIBIT 3 - SEISMICITY

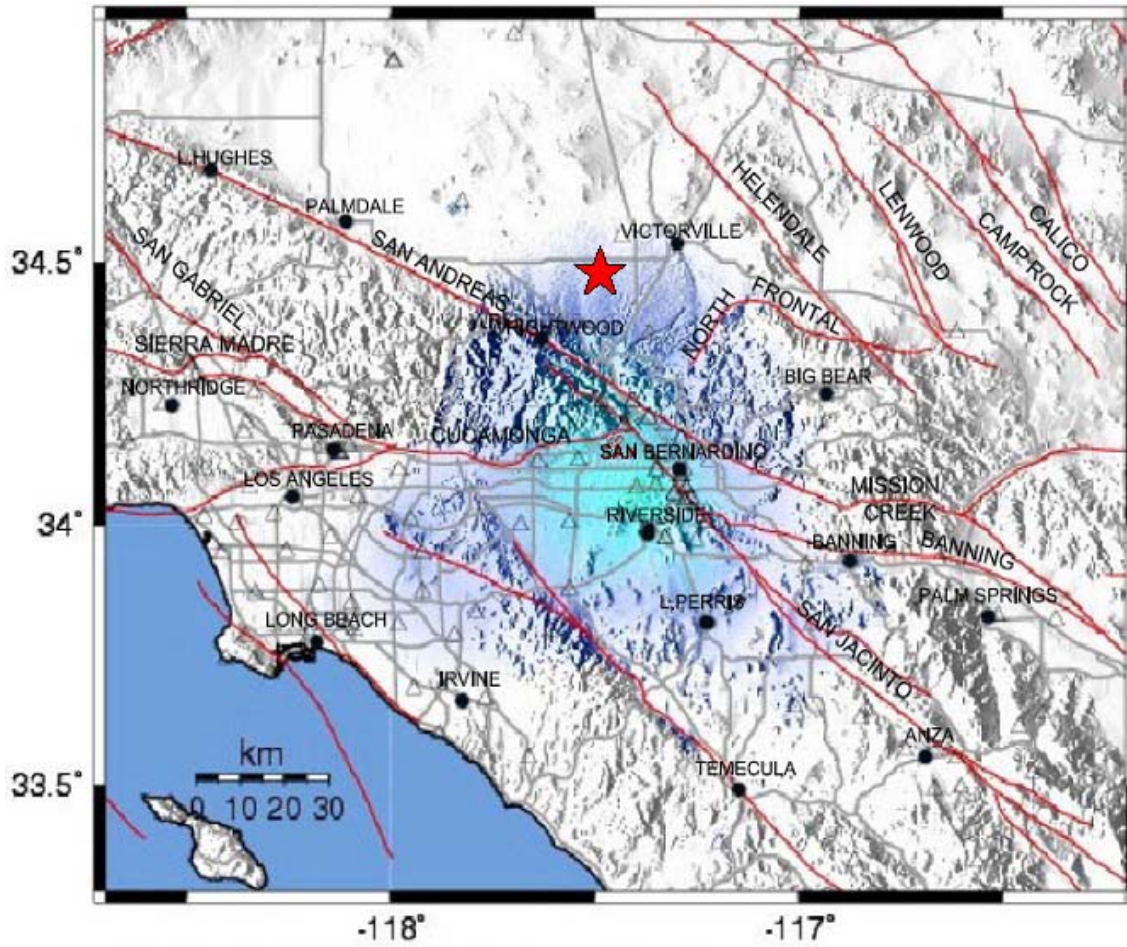
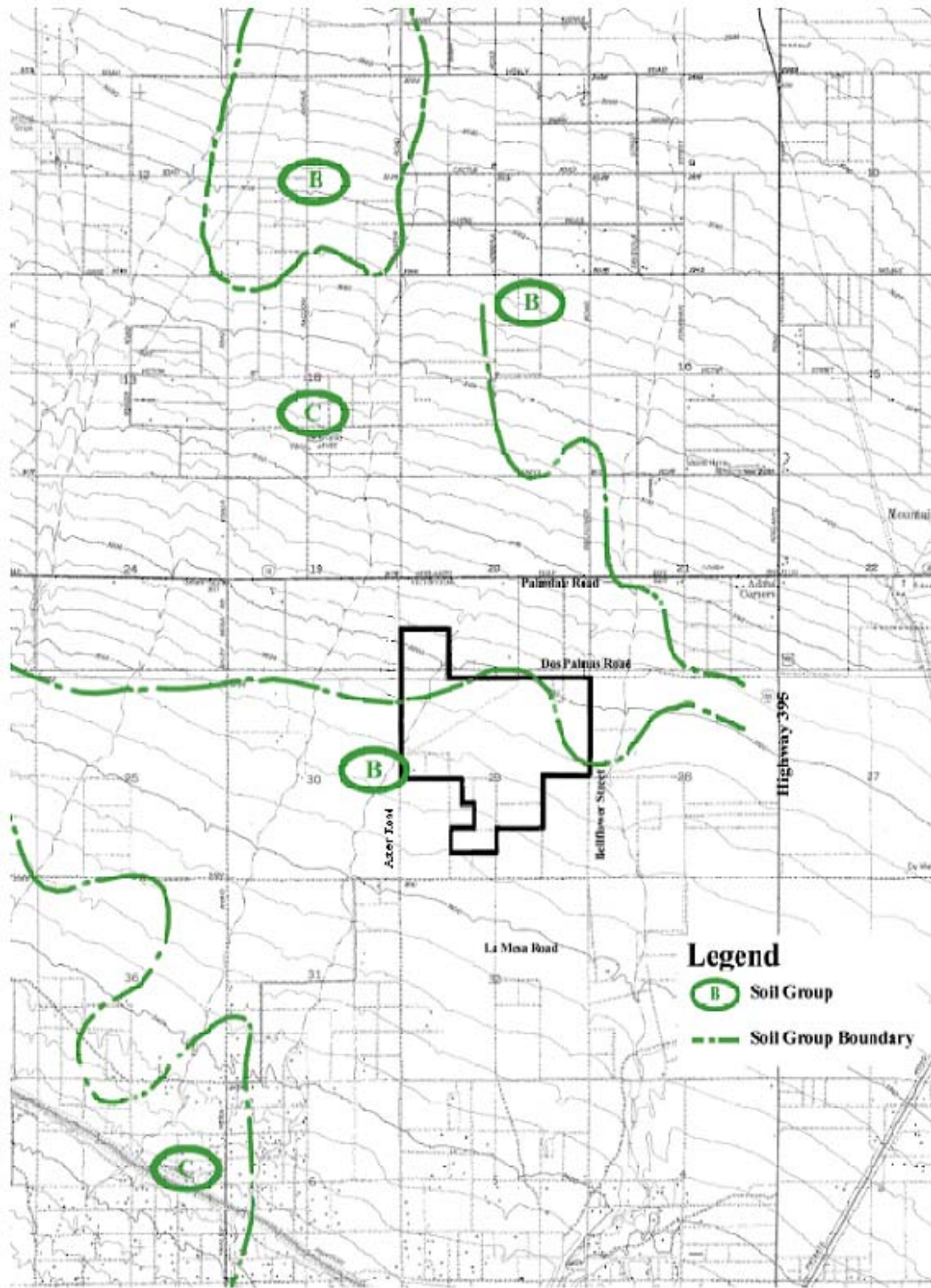




EXHIBIT 4 - SOILS



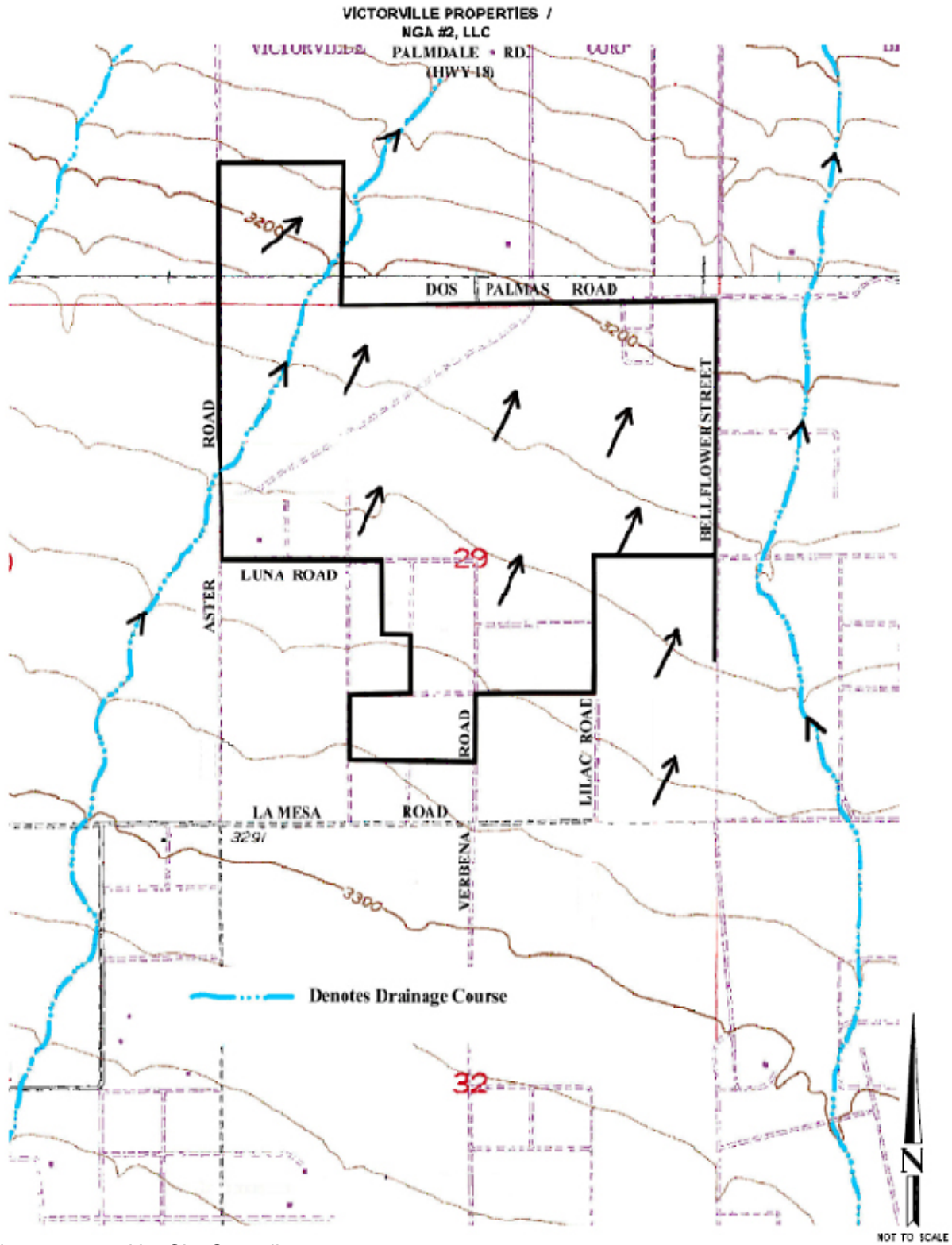
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EXHIBIT 5 - HYDROLOGY



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sparrow (*Melospiza melodia*), and turkey vulture (*Cathartes aura*). Side-blotched lizards (*Utastansburiana*) and western whiptail lizards (*Cnemidophorus tigris*) were also observed throughout the property. No Desert Tortoises, Mojave Squirrels, Sharp-skinned Hawk, Loggerhead Shrike or Burrowing Owls were observed on site. Mitigation measures have been provided in the report for the Desert Tortoise, Mojave Squirrels, Sharp-skinned Hawk, Loggerhead Shrike and Burrowing Owl.

## **J. CLIMATE AND AIR QUALITY**

The continental climate is generally characterized by hot summers, cool winters, infrequent rainfall and low humidity. Temperature ranges from winter means of approximately 43 degrees F to summer means of 80 degrees F. Winds generally develop from the south through the Cajon Pass.

The Victorville area, similar to much of southern California, is identified as a non attainment area in terms of air quality. Since much of the air quality is the result of winds transporting poor air quality from the San Bernardino and Riverside County areas, inland valleys such as Victorville are limited in their overall impact.

## **K. AESTHETICS**

The project site is a gently sloping plain toward the northeast and it is surrounded by the Quartzite Mountains on the northeast, the San Gabriel Mountains on the west and the San Bernardino Mountains on the south, thus creating an attractive back drop for the project. There are also several small drainage swales that traverse the site from the southwest to the northeast. These swales tend to give the site an undulating appearance from west to east.

## **L. NOISE**

The majority of the site is located adjacent to undeveloped property and therefore has minimal existing noise impacts. Palmdale Road, Highway 18, is the only major street in the area and is located approximately one-quarter mile north of the site and will have the greatest noise impact. The primary noise in the future will be associated with newly constructed or expanded roadways. In general, in order to mitigate current and future noise levels at the standard of 65 CNEL exterior and 45 CNEL level will be maintained at all residential buildings.

## **M. LAND USE**

The majority of the property surrounding The Crossings site to the north and south is either vacant, undeveloped land or is sparsely developed with single family ranch homes. One ranch style home currently exists within the Project boundary, off the southwest corner of Dos Palmas and Verbena Roads. Single family residential uses have been recently approved to the west of the Project. To the east, the Project abuts

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Vista Verde, a planned residential community composed of single family homes on smaller lots that is currently beginning to be developed. No commercial or industrial uses exist in the area, although commercial uses have been approved to the north of the Project at the southeast corner of Palmdale and Aster Roads. The Crossings will be a master-planned community with a variety of residential uses, ranging from multiple-family, to small lot and larger lot single family. The Project will also include an elementary school, a park, and a system of paseos and trails. Since The Crossings is being proposed as a Specific Plan, it has been designed to be compatible with the existing uses in its vicinity and with those that are currently approved but not yet developed.

## **N. GENERAL PLAN/ZONING**

The City of Victorville General Plan currently shows the area to the north and west of The Crossings project as being planned for mostly Very Low Density and Low Density Residential uses, as well as for some High Density Residential and Commercial uses along Palmdale Road at Aster Road and to the east of Verbena Road. To the east of the Project, the General Plan shows an area planned for Specific Plan uses abutting the Project and the remaining areas planned for Low Density Residential uses. South of Luna Road, the General Plan shows Low Density and High Density Residential uses as well as an area planned for Commercial and Office Professional uses at the northwest and southwest corners of Bellflower Street and La Mesa Road. The General Plan also shows Commercial uses planned for all four corners of the intersection of Aster and La Mesa Roads. See Exhibit 6 for details.

In terms of zoning, the City of Victorville Zoning map currently shows the area to the north and west of The Crossings as being zoned R-1, R-1T, R-3, and C-2 along the south side of Palmdale Road.\* To the east of the Project, the Zoning map currently shows SP and R-1 zoning abutting the Project. South of Luna Road, the Zoning map shows R-1 and R-3 zones as well as an area zoned C-2 and C-A at the northwest and southwest corners of Bellflower Street and La Mesa Road. The northeast, southeast and southwest corners of Aster and La Mesa Roads are zoned C-2. See Exhibit 7 for details.

## **O. TRAFFIC/ CIRCULATION**

The General Plan circulation identifies the required roadway classification for both existing and future traffic. The major roadways that are close to the project are:

- Palmdale Road (Hwy 18) 1320'± Northerly of the development
- Bear Valley Road 6000'± Southerly of the development
- 
- Hwy 395 5280'± Easterly of the development
- Baldy Mesa Road 5280'± Westerly of the development

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There are also numerous unimproved dirt roads that traverse the development site in all directions.

All of the major streets required to access the development will be designed and constructed to meet the requirements set forth in the General Plan circulation element of City Standards. A traffic study has evaluated the impact of the future traffic on all the major roads and intersections including Palmdale Road, Hwy 395 and US 15. This traffic study is a separate document.

## **P. PUBLIC SERVICES**

### **Schools**

The Crossings is located in the Snowline School District. The District at present has four (4) elementary schools, one (1) K-8 school, two (2) middle schools and one (1) high school.

The nearest elementary school is Baldy Mesa Elementary. It is located approximately 2.5 miles south and 1 mile westerly of the development. The nearest middle school, Quail Valley Middle School, is located approximately 1 mile west and 2.5 miles southerly of the development. The nearest high school, Serrano High School, is located approximately 6.5 miles westerly and 4.25 miles southerly of the development.

The master developer has included one (1) elementary school within the Crossings community.

### **Police**

The San Bernardino Sheriff's Department will provide police services. The headquarters for the sheriff's department is located in the City of San Bernardino with a substation located at 14455 Civic Center Drive in the City of Victorville, which is located approximately 7.5 miles easterly of the development.

### **Fire**

Fire protection services will be provided by the City of Victorville. The City, at present has (3) three fire stations throughout the city. The closest station to The Crossings is near Liberty Park on Amethyst Road. At present, per a discussion with the Fire Department, the response time to The Crossings is greater than fifteen (15) minutes.

However, the City Fire Department has a dedicated parcel of land for a future station near Mesa View Avenue, which is approximately 1.5 miles easterly and  $\frac{3}{4}$  of a mile southerly of The Crossings. The construction of this station would greatly reduce the response time. The Master Developer is working with the Fire Department to participate in the construction of this station or an alternative facility.

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## **Q. RECREATION AND PARKS**

Park services are provided by the City of Victorville Community Services Department. Park need for The Crossings will be met onsite. The Master Developer will provide ten (10) acres of parks within The Crossings Community as well as approximately seventeen (17) acres of Open Space for walking and biking trails. The Master Developer will work with the City of Victorville to ensure that the park fees, paid at the building permit stage for each housing unit, will be utilized to improve and expand existing park facilities within the City. Refer to the Master Plan of Parks and Facilities for the proposed park facilities.

The nearest existing park is Eagle Ranch Park, located on Eagle Ranch Road southeasterly of Mesa Linda Avenue and approximately 1.5 miles easterly and ½ mile southerly of The Crossings.

## **R. PUBLIC UTILITIES/PUBLIC WORKS**

Public works and utilities, including water, wastewater, electricity, gas, telephone, and solid waste are available, but need to be extended to the property. Specific utility providers are provided in the Infrastructure section of the Specific Plan.

## **S. ARCHAEOLOGY/PALEONTOLOGY**

The City of Victorville General Plan states that...”recorded paleontological and archaeological resource recovery sites are widespread throughout the General Plan area”... and that ...”the existence of rich paleontological and archaeological resources may present some challenges for future development.” With this in mind, Hall and Foreman, the Project’s engineering consultant, has conducted several site visits and reviewed existing City and consultant reports for the Project area. Based on this analysis, there appears to be no evidence of any prehistoric archaeological sites or historic-period items within the Project area’s boundaries and, therefore, the Project should not disrupt or adversely affect any known prehistoric or historic archeological sites or any property of historic or cultural significance to the City of Victorville.

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## **SECTION III - GENERAL PLAN RELATIONSHIP**

### **A. INTRODUCTION**

The City of Victorville's General Plan outlines a series of goals, policies and objectives for future development within the City. This Section describes how The Crossings Specific Plan compliments, reinforces and promotes these goals, policies and objectives.

The General Plan includes eight key elements. Six of these elements: Land Use, Circulation, Housing, Noise, Safety, and Resources are discussed below. Two Elements, the Southern California Logistics Airport Community Plan Element and the Old Town Community Plan Element are not directly relevant to this Specific Plan and have therefore not been included.

### **B. LAND USE**

The property is within the City of Victorville Baldy Mesa Planning Area (City Map / Figure 3) of the City General Plan. The property is designated as Low Density Residential (up to a maximum of five dwelling units per acre) and Very Low Density Residential (up to a maximum of 2 dwelling units per acre). See Exhibits 6 and 7.

This Specific Plan is developed in conformance with the policies of the City of Victorville General Plan and the State of California Government Code as described in Section I. This Plan provides all regulations and standards required for implementation of each element of the General Plan.

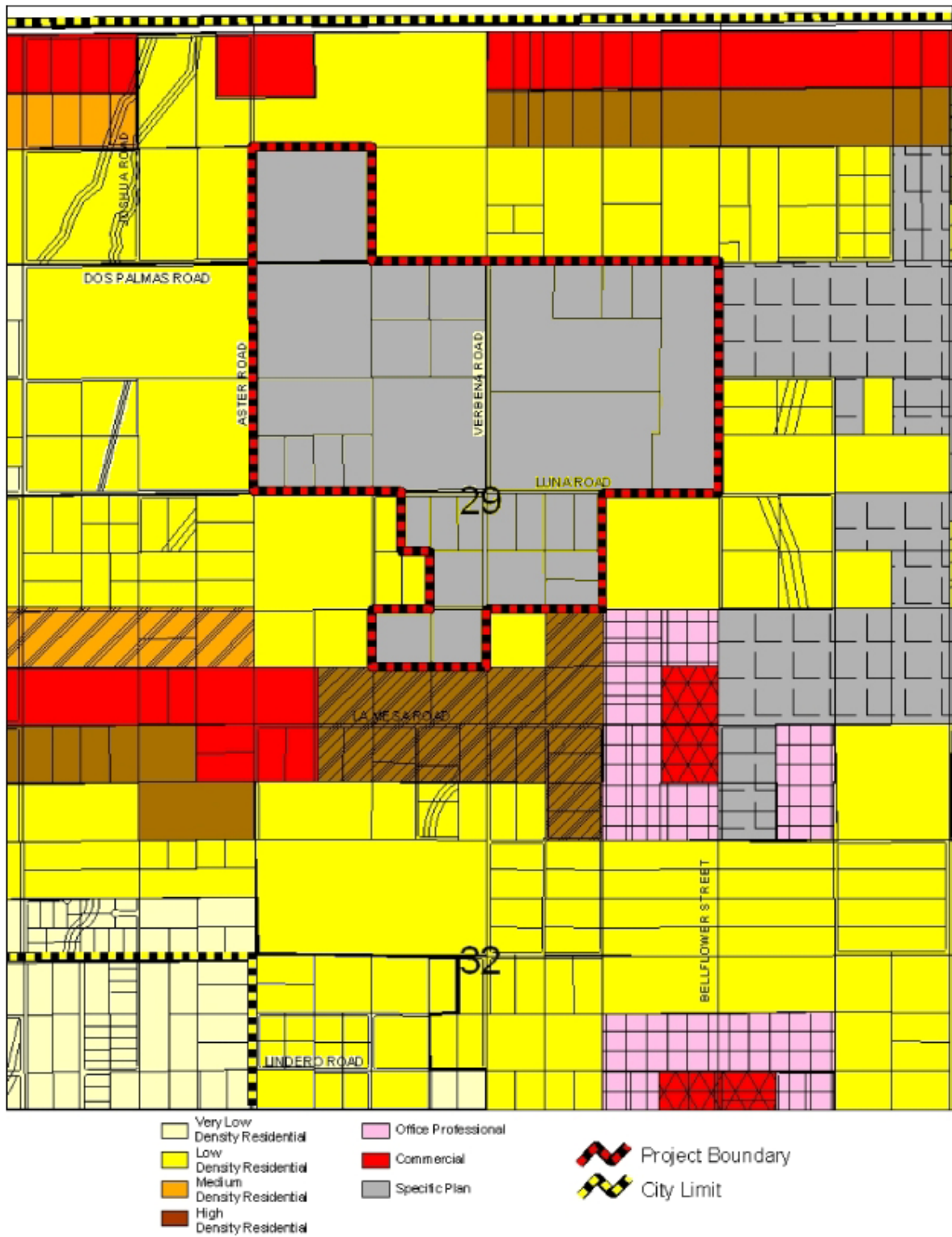
The Crossings land use plan includes a variety of single family residential densities that average approximately 5.92\* dwelling units per acre over the entire property.\* The Master Developer will be providing an elementary school site within The Crossings. The Specific Plan includes land use and development regulations, design standards and implementation procedures to enable development of a high quality and distinctive community that incorporates community design features not typically provided in traditional development. These features are covered in Section VI, Design Guidelines.

### **C. CIRCULATION**

The General Plan Circulation Element identifies roadway classifications and standards for the current and future needs of the City. The Crossings circulation system has been designed in conformance with these standards. Section IV B of this Specific Plan identifies all the collector level and greater roadways that will be improved as part of the infrastructure. These roads include the following: A small portion of Palmdale Road (Hwy 18), a Caltrans facility; Bellflower Street, a four (4)

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EXHIBIT 6 – CITY OF VICTORVILLE GENERAL PLAN



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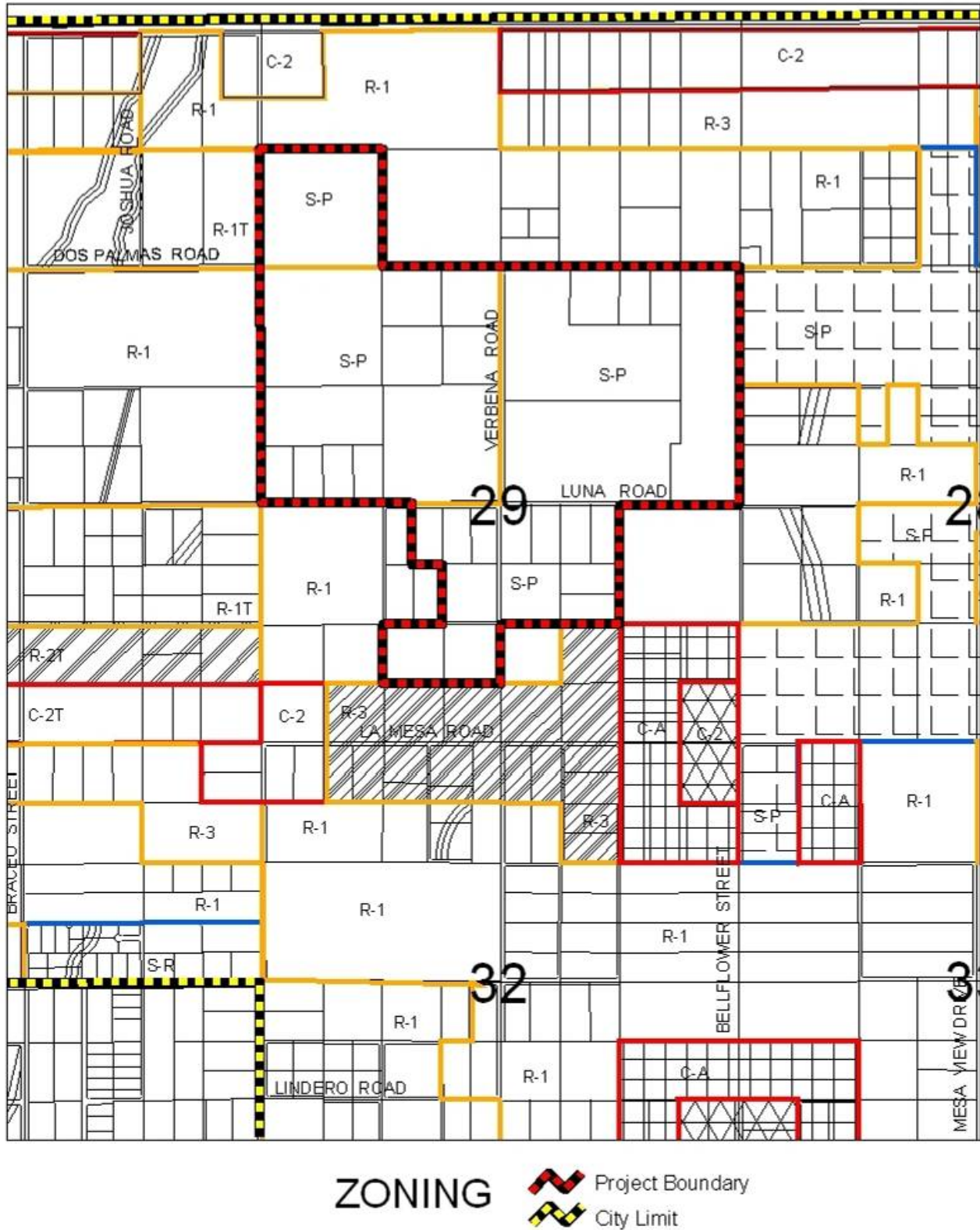
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EXHIBIT 7 – CITY OF VICTORVILLE EXISTING ZONING



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lane Major Arterial; Aster Road (Monte Vista) a four (4) lane Arterial; Dos Palmas Road, Luna Road and Verbena Road, two (2) lane collectors. Local roads within the neighborhood will all be designed to the standards shown in the Specific Plan. In addition, an extensive network of pedestrian and off-street bicycle trails have been incorporated into the Specific Plan. These trails will reduce reliance on the automobile, reduce emissions, and provide safe and convenient ways for both adults and children to access the various neighborhoods and open space areas within the Plan.

#### **D. HOUSING**

The City General Plan Housing Element provides goals and guidelines to meet federal, state and regional housing needs. Three primary city housing goals which directly relate to The Crossings Specific Plan include: 1) "encouraging a wide range of housing by location, type of unit, and price", 2) "to provide for all persons regardless of race, religion, sex, marital status, ancestry, national origin, or color", and to 3) "encourage the proper utilization of undeveloped residential areas of the City".

The Crossings Specific Plan fulfills these needs by providing a variety of housing types, densities and prices open to all individuals in a cohesively designed master planned setting.

#### **E. NOISE**

While The Crossings property is currently vacant and is not a source of noise, there is the potential for noise impacts along major arterial roads such as Palmdale Road. The Noise Element of the General Plan provides goals, policies and implementation measures with regard to noise factors.

The City has established a noise standard for all new development. In the case of single family residential development, the City Noise Element states: "New residential development in those areas identified as having a CNEL of 65 dB or greater will have to have a noise study performed to determine what level of sound insulation, if any, is required to meet the acceptable interior noise levels as established by the City". A noise study is currently being conducted.

#### **F. SAFETY**

The Safety component of the City General Plan identifies standards for public health and safety for natural and man-made hazards. Generally, the areas covered by the Safety component address seismic, slope, flood, hazardous materials, fire police, and medical emergencies. Each of these areas is individually addressed in The Crossings Specific Plan. Generally, as the site does not occur within proximity to an active fault zone or 100-year floodplain, and is not expected to include any significant slopes, no significant natural constraints exist in regard to development. As development occurs,

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measures found in the Uniform Building Code that reduce fire hazards will be

incorporated into construction plans, where applicable. Police and medical needs can all be met through coordination with the police agencies and medical facilities in the area.

## **G. RESOURCES**

### **Water**

Water conservation is an important element in the City General Plan and will be reflected in The Crossings design implementation. The Baldy Mesa Water District has adopted measures providing programs to address conservation of water through current development Standards and Policies. As such, the City policies will continue to require development to “conserve water in their design and construction”. Examples of water conserving techniques listed include requiring “single family lot sizes of 7,200 square feet and planned unit developments allowing for even smaller lots which potentially reduce water landscape demand”. In addition the City will continue to require all new developments to use low flow plumbing fixtures in compliance with Title 20 of the State of California.

### **Geologic Resources**

The General Plan designates and classifies potential mineral resource areas throughout the City. The Crossings Specific Plan area, similar to the vast majority of the City, is located in the designation of MRZ-3a, which are areas of undetermined mineral resource significance. In terms of gas and oil resources, the General Plan states that it is very unlikely that petroleum in commercial quantities exists in the Western Mojave Desert region. The soils are consistent with the overall Mojave Desert alluvial plain area.

A preliminary review indicates no active faults in the immediate vicinity of the development. Prior to the development, a geotechnical report will be completed to determine specific standards for the development, subject to appropriate construction techniques and practices.

### **Air Quality**

According to the General Plan, The Crossings Specific Plan area is located within the Baldy Mesa Air Basin under the jurisdiction of the Mojave Desert Air Quality Management District.

In conjunction with the traffic study for the Specific Plan area, air quality will be evaluated with appropriate mitigation measure recommendations provided to comply with the City General Plan and AQMD.

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## **Solid Waste Management**

Currently, the City is under contract with BURRTEC for solid waste disposal for The Crossings Specific Plan area. As identified in the General Plan, the City shall continue its efforts to comply with State mandates to reduce the amount of solid waste disposal in landfills.

## **Open Space**

Approximately two-thirds of the General Plan area is undeveloped, vacant land. The overwhelming majority of this vacant land contains land use designations, which allow for development with a small portion of the General Plan area designated for Open Space.

The Crossings Specific Plan provides approximately 38.48 acres of open space. The open space will include a 10 acre park, two useable two-acre detention basins, five acres of common useable open spaces throughout the entire community in conjunction with a 16.78 acre networked trail/paseo system, and approximately 2.7 acres of common open spaces within neighborhoods. Landscaped portions of the open space will include native and drought resistant plants in conformance with the design guidelines in the Specific Plan.

## **Biological**

On-site investigation identifies that vegetation within the development is classified as creosote bush shrub, a vegetation community dominated by creosote bush (*Larrea tridentate*) with a ground cover predominately consisting of various grasses, mustards, buckwheats, and non-native Russian thistle (“tumbleweed”, *Salsola iberica*). Scattered Joshua trees (*Yucca brevifolia*) and golden cholla (*Opuntia echinocarpa*) are scattered throughout the development. As required by the General Plan, all Joshua trees will require approval by the Community Services Department prior to development. A final report of the existing flora has been prepared as a separate document by RCA Associate, Inc along with proposed mitigation.

The Specific Plan includes newly landscaped corridors within the paseo as well as within the streetscapes. All planted areas will be planted according to the City of Victorville LMAD, DFAD, and Park Specification and Detail Booklet and according to the Specific Plan guidelines with native and drought resistant plants selected from the Plant Palette in section 5.2.1 of the Design Guidelines or as otherwise approved by City staff.

## **Cultural/Historic**

Although the overall General Plan area may possibly have the existence of rich paleontological and archaeological resources in the planning area based on a site visit and the results of a record search there is no indication that there are any archaeological sites or other historic period sites located within the development.

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## **SECTION IV - DEVELOPMENT COMPONENTS**

### **A. LAND USE**

#### **Purpose**

The purpose of this section is to identify the land use categories used in The Crossings plan and the uses permitted within these categories. In general, the land use categories are designed to be compatible with those allowed under the current City of Victorville Codes.

Upon approval of The Crossings Specific Plan, requests for land uses shall be consistent with the recommended land uses shown on Exhibit 8. Specific densities shown on Exhibit 8 may vary in exact location, so long as the overall community meets the overall densities, goals and objectives of this Specific Plan.

The Crossings Specific Plan has established a comprehensive set of land uses, site development standards, architectural, and landscape criteria, as well as residential design standards for The Crossings project.

Planned land uses for the approximately 449 acres comprising The Crossings Specific Plan are shown within the boundary on Exhibit 8.\* Projects within this area will be developed in conformance with the land uses shown on Exhibit 8.

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

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## Planned Land Use

The land uses planned for The Crossings are shown in Table 1 below.

### Table 1 – Land Use Summary

Land Use	Max. DU/AC	Total Acres	Total Units
Multi-Family Residential	18	22	396
Small Lot Residential	11	38	418
Medium Residential	7	176	1232
Low Residential	5	127	610**
<b>Total (Residential)</b>		<b>363*</b>	<b>2656</b>
Right-Of-Way	--	38.22	--
Park Site/Detention Basins/and Open Space	--	19	--
School Site	--	12	--
Trail/Paseo System	--	16.78	--
<b>Totals</b>		<b>449</b>	<b>2656</b>

Overall Gross Residential Density: 5.92 du/ac

\* Includes approximately 2.7 acres of open space within the neighborhoods.

\*\* April 15, 2005 Approved max unit number for low residential.

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

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## The Crossings

Specific Plan

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**Exhibit 8 – LAND USE PLAN**



\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## Land Use Designations

The Crossings Specific Plan area shall be comprised of the five land use designations listed below:

- (1) Multi-Family Residential (up to 18 du/ac);
- (2) Small Lot Residential (up to 11 du/ac);
- (3) Medium Residential (up to 7 du/ac);
- (4) Low Residential (up to 5 du/ac);
- (5) Public Facility/Open Space

### **Notes:**

1) All residential land use categories described below are cumulative. Each higher density residential category permits all land uses of the lower density residential categories below it. Where different residential categories are immediately adjacent, projects will be designed with transition buffers to avoid dramatic changes in densities. Specific densities shown on Exhibit 8 may vary in exact location, so long as the overall community meets the overall densities, goals and objectives of The Crossings Specific Plan.

2) Assembly Uses and Private Schools are permitted in all residential land use categories described below with approval of a Conditional Use Permit by the City of Victorville.

### **Multi-Family Residential**

The Multi-Family Residential category provides for the development of up to 18 dwelling units per gross acre. Product types include, but are not limited to, a higher density variety of multi-family units such as condominiums, townhomes, and apartment projects with a maximum of two and one-half stories.

In addition, this category also allows senior housing and related facilities for senior care including independent living, assisted living, congregate care, convalescent care, and skilled nursing uses.

### **Small Lot Residential**

The Small Lot Residential category provides for the development of up to 11 dwelling units per gross acre. This land category allows for higher density detached and attached single-family product types, including, but not limited to, senior housing, duplexes, compact lots, townhomes, condominiums, apartments, and cluster developments. Buildings in this category should not exceed two and one-half stories in height. Allowable uses also include residential daycare up to six children.

### **Medium Residential**

The Medium Residential category provides for the development of up to 7 dwelling units per gross acre. This land use category allows for medium density detached or attached single-family product types including, but not limited to, duplexes, compact lots, and cluster



---

developments. Buildings in this category should not exceed two and one-half stories in height. Allowable uses also include residential daycare up to six children.

### **Low Residential**

The Low Residential category provides for the development of up to 5 dwelling units per gross acre. This land use category allows for lower density single-family product types with a maximum of two and one-half stories. Allowable uses also include residential daycare up to six children.

### **Public Facility/Open Space and Recreation**

The Public Facility/Open Space and Recreation category designates areas where the primary land uses are public and quasi-public services and facilities. These uses are generally affiliated with government, recreational and educational facilities. Examples include: schools, rights of way, parks, and related uses.

The Master Developer has worked closely with City of Victorville staff to select areas for parks and recreation within The Crossings Specific Plan. As a result of this process, the Master Developer has reserved areas for a 10 acre park, two useable two-acre detention basins, five acres of common useable open spaces throughout the entire community in conjunction with a 16.78 acre networked trail/paseo system, and approximately 2.7 acres of common open spaces within neighborhoods totaling approximately 38.48 acres in the Plan as depicted on Exhibit 8. The Master Developer will work with the City of Victorville to develop the 10 acres of parks and the additional open space for linear parks and trails. These facilities will further enhance open space connectivity throughout the community.

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## **B. CIRCULATION**

### **1. Circulation Component**

The Circulation Plan, Exhibit 9, provides for the safe and efficient vehicular travel in and around the planning area. The plan consists of the location and right-of-way widths for arterial and collector streets. Typical roadway and detached walkway sections are shown on Exhibit 10.

The Circulation Plan has been developed based upon a comprehensive transportation planning analysis and the City's Master Plan. The traffic generation and distribution studies included in this analysis were based on the ultimate build-out of other potential development outside of this Specific Plan area.

### **2. Circulation System**

Roadways within the neighborhood developments will provide adequate internal circulation and connections to the arterial and collector streets. The primary access routes to The Crossings are Palmdale Road on the north, Bellflower Street on the east, La Mesa Road on the south and Monte Vista Road on the west.

### **3. Implementation**

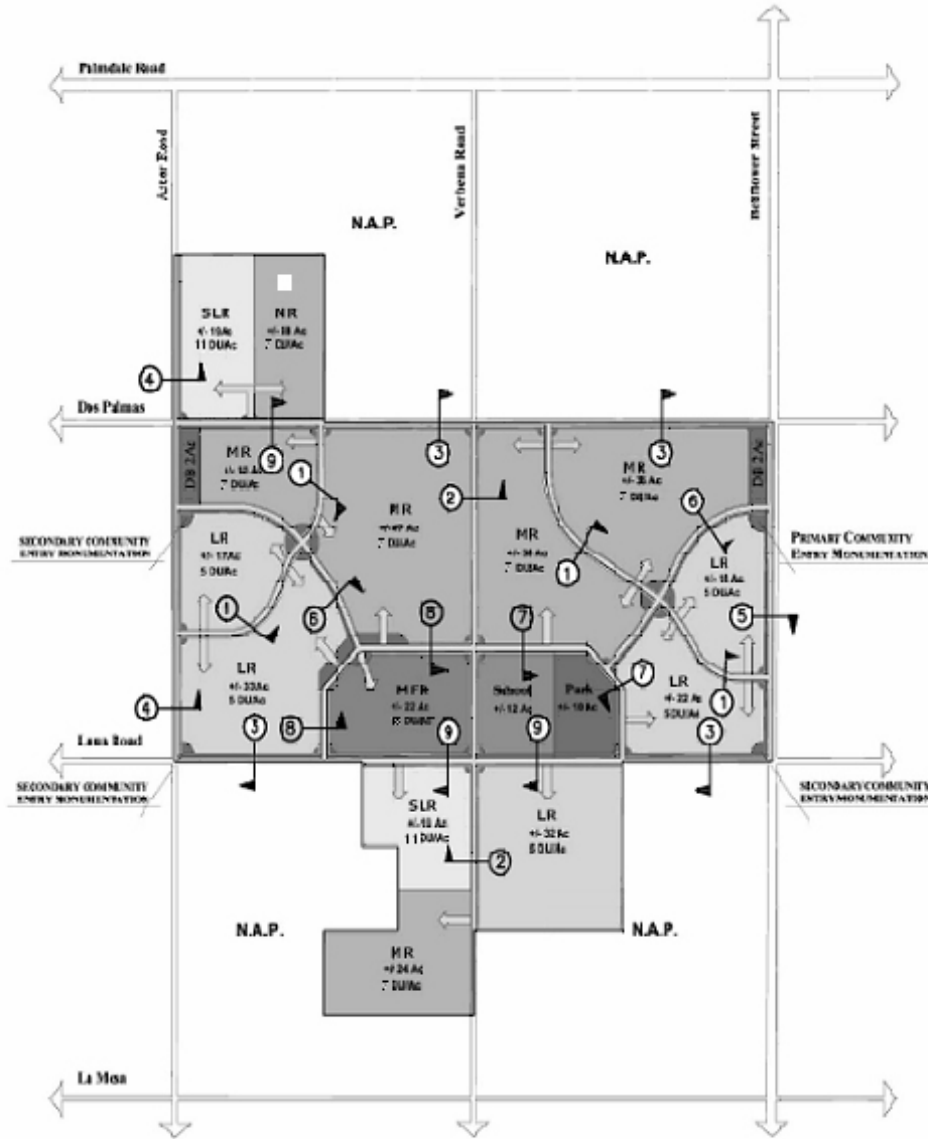
The following describes the characteristics of the various roadway classifications, which are part of the Specific Plan circulation system:

**Super Arterials/Major Arterials:** Super Arterials and Major Arterials service the immediate vicinity of the site for through traffic and provide linkages from collectors to the regional transportation corridors. Palmdale Road, HWY 18 is a Super Arterial that runs east/west northerly of the site.

Bellflower Street, a north/south major arterial that runs along the east boundary of the project, will be improved to half of its 100 foot right-of-way, plus 12'.

Luna Road is collector level (64 foot ROW) and Aster Road is an arterial (84 foot ROW). These will be improved to their full width if The Crossings development occurs on both sides of the right-of-way. If development occurs on only one side, streets will be improved to a half width plus 12'.

EXHIBIT 9 – CIRCULATION PLAN



**LEGEND:**

- |                          |                             |                       |
|--------------------------|-----------------------------|-----------------------|
| ① LOCAL STREET (71' R/W) | ⑤ MAJOR ARTERIAL (121' R/W) | ⑨ COLLECTOR (96' R/W) |
| ② COLLECTOR (85' R/W)    | ⑥ LOCAL STREET (81' R/W)    |                       |
| ③ COLLECTOR (85' R/W)    | ⑦ LOCAL STREET (67' R/W)    |                       |
| ④ ARTERIAL (105' R/W)    | ⑧ LOCAL STREET (82' R/W)    |                       |



DATE: AUGUST 16, 2004  
**Hall & Foreman, Inc.**  
*A Engineering Service Firm*  
 137 Avenue H, Ste. 100 • Santa Clarita, CA 91351 • (562) 941-0001

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

**The Crossings**

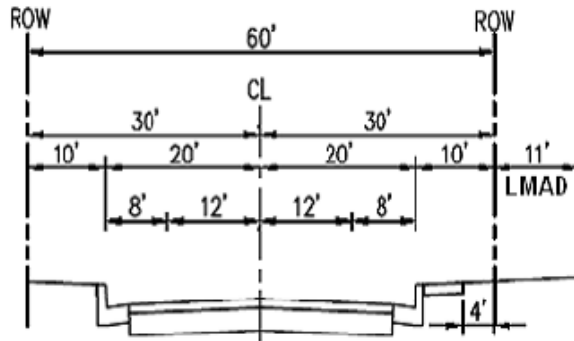
Specific Plan

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EXHIBIT 10a- STREET SECTIONS 1

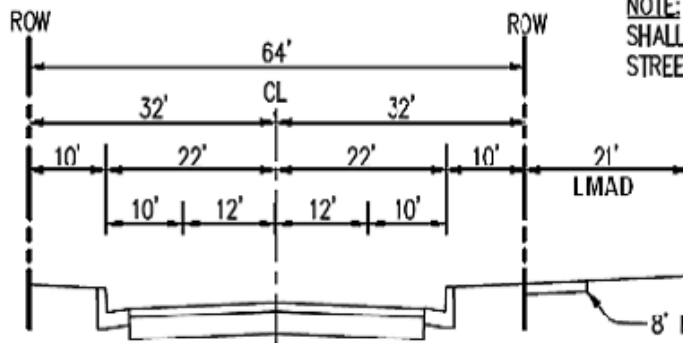
**STREET SECTIONS**

VICTORVILLE PROPERTIES /  
LANDTEK, LLC



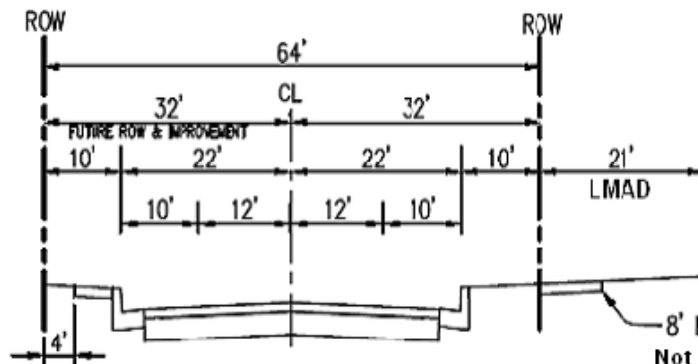
NOTE: NO DWELLING UNITS  
SHALL FRONT ON THIS  
STREET SECTION.

TYPICAL SECTION - 1  
LOCAL STREET  
1"=20'



NOTE: NO DWELLING UNITS  
SHALL FRONT ON THIS  
STREET SECTION.

TYPICAL SECTION - 2  
COLLECTOR  
1"=20'



8' MEANDERING WALKWAY  
Not maintained by LMAD

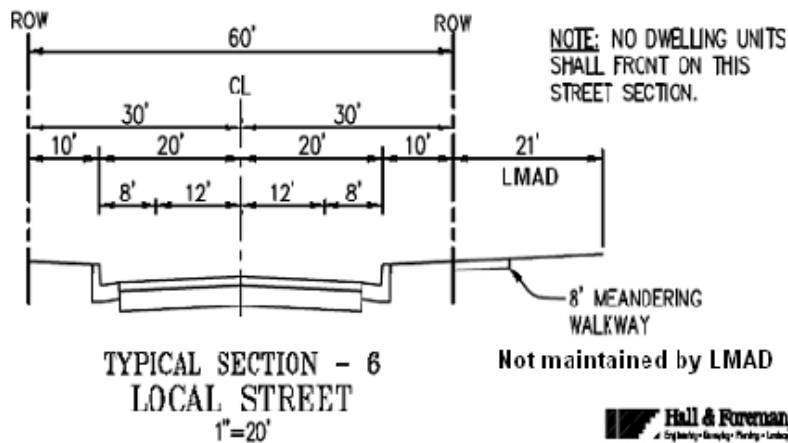
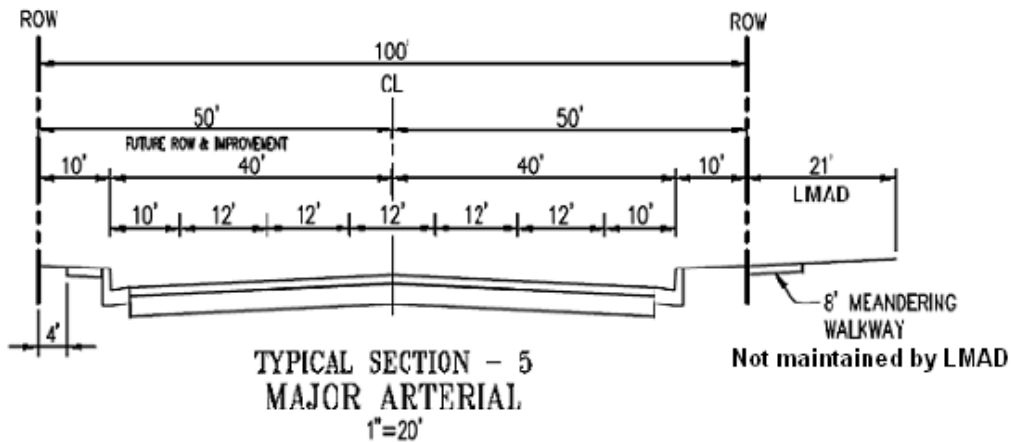
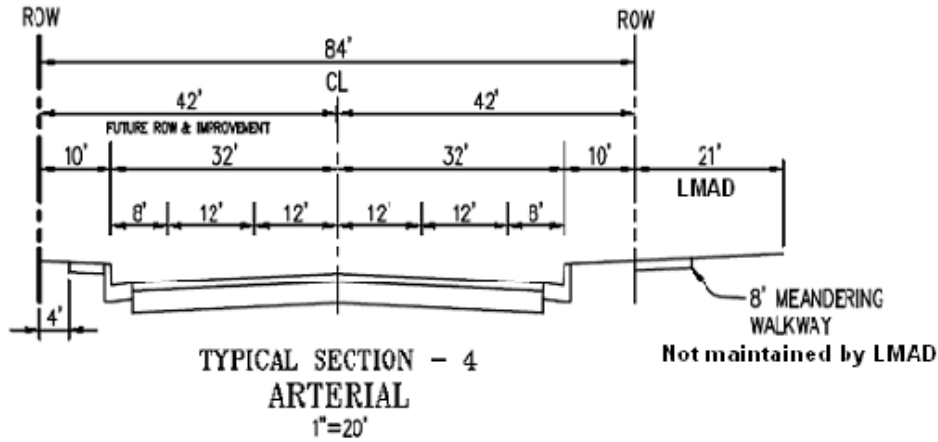
TYPICAL SECTION - 3  
COLLECTOR  
1"=20'

**Hall & Fireman, Inc.**  
A. Engineering • Surveying • Planning • Landscaping • Architecture  
9300 Anderson Blvd., Ste. 107 • Northridge, CA 91329 • (818) 941-4900

EXHIBIT 10b- STREET SECTIONS 2

**STREET SECTIONS**

VICTORVILLE PROPERTIES /  
LANDTEK, LLC

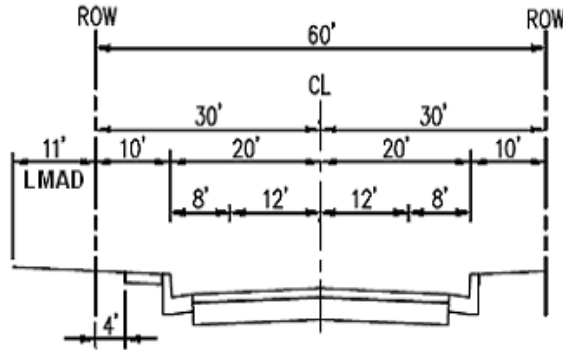


**Hall & Foreman, Inc.**  
of City Planning • Surveying • Planning • Landscape Architecture  
300 South Main, Box 10 • Victorville, CA 92580 • 951-241-4444

EXHIBIT 10c – STREET SECTIONS 3

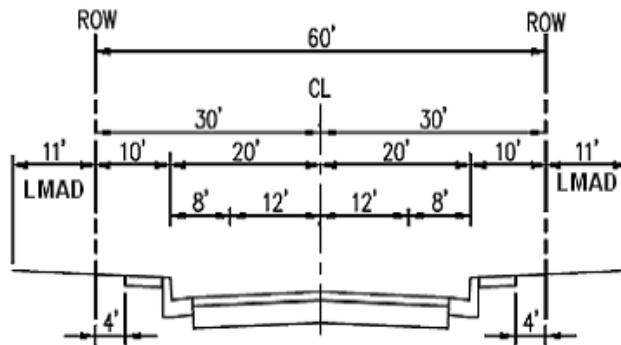
**STREET SECTIONS**

VICTORVILLE PROPERTIES /  
LANDTEK, LLC

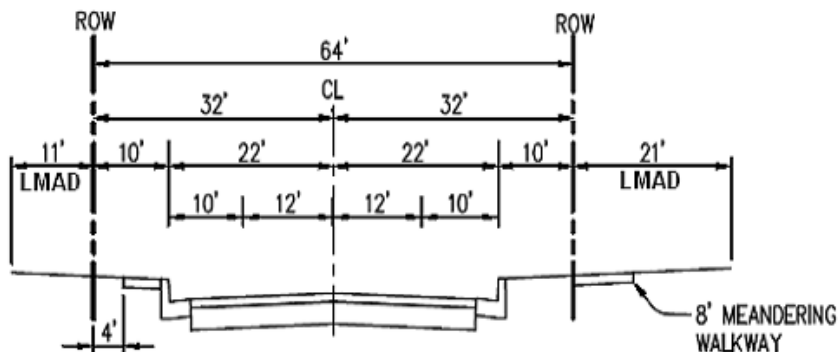


**NOTE:** NO DWELLING UNITS  
SHALL FRONT ON THIS  
STREET SECTION.

**TYPICAL SECTION - 7**  
**LOCAL STREET**  
1"=20'



**TYPICAL SECTION - 8**  
**LOCAL STREET**  
1"=20'



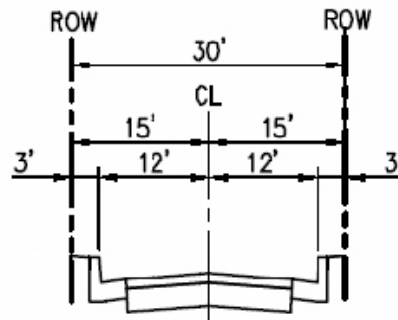
8' MEANDERING  
WALKWAY  
Not maintained by LMAD

**TYPICAL SECTION - 9**  
**COLLECTOR**  
1"=20'

**Hall & Foreman, Inc.**  
Engineering • Surveying • Planning • Landscape Architecture  
9320 Indian Point, Suite 101 • Rockledge, Florida 32955 • (407) 401-4000

## STREET SECTIONS

VICTORVILLE PROPERTIES /  
LANDTEK, LLC



TYPICAL SECTION – 10  
COURT STREET  
1"=20'

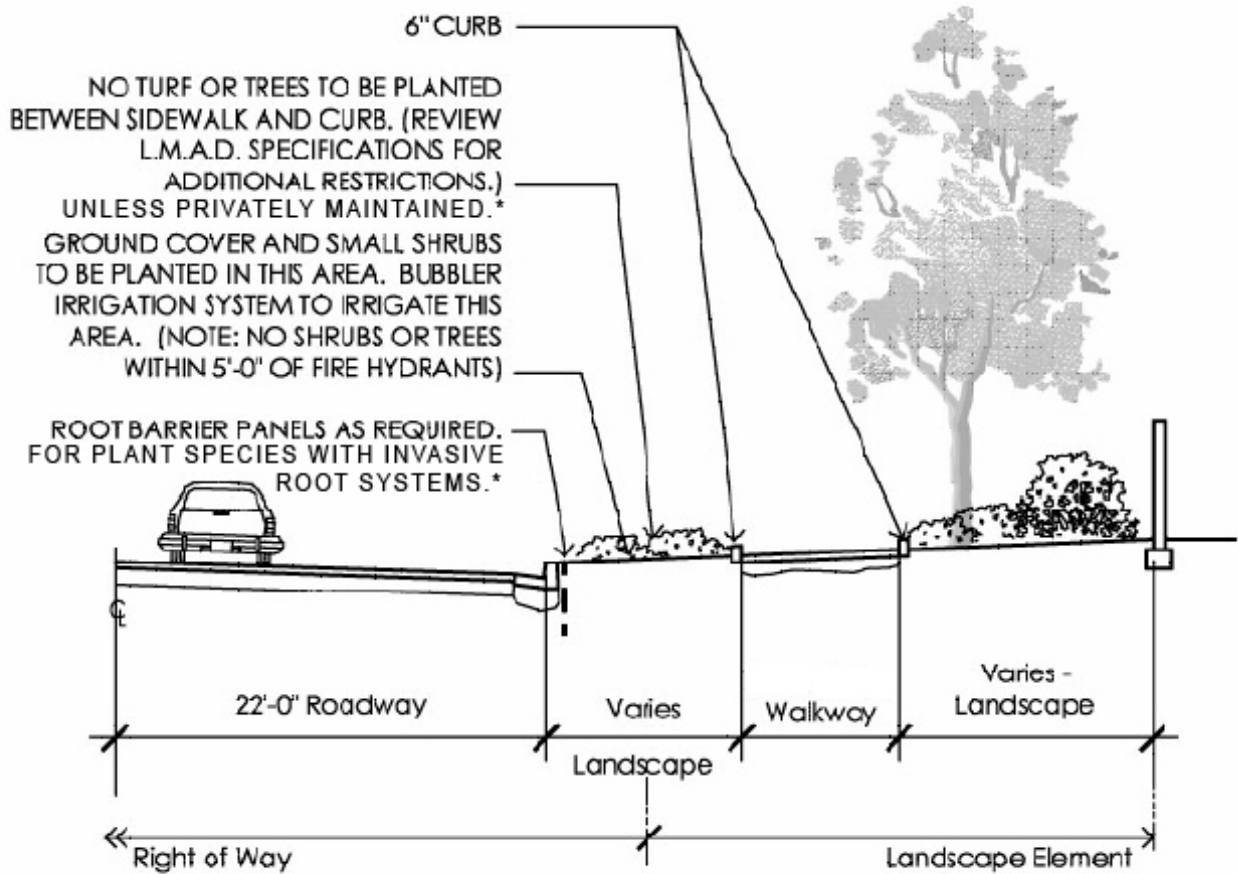
\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

### The Crossings

Specific Plan

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EXHIBIT 10e - TYPICAL DETACHED WALKWAY SECTION



\*Revisions approved by City Council on February 6, 2007 SPA-04-002

The Crossings

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## **C. INFRASTRUCTURE**

### **Introduction**

To fulfill the needs of this community, and other future communities in the western portion of the City of Victorville, a systematic plan to provide the public services is needed. This Infrastructure Component addresses these needs and illustrates the mechanisms through which Public Services will be provided.

The Infrastructure Systems shown herein are designed to provide adequate services for the maximum level of planned development. Where major offsite facilities are required to serve the ultimate development of the western portion of the City of Victorville, interim facilities may be proposed for the initial phase of development.

### **1. Water Service Concept Plan**

Domestic water will be supplied by the Baldy Mesa Water District (BMWD). A Water Facilities Master Plan update in 1985 includes the area of this Specific Plan. The schedule for implementing this Master Plan will coincide with this development and future development. Exhibit 11 identifies the major water main lines required to service the property.

### **Implementation**

The mechanisms for financing of water facilities improvements are established by BMWD. In addition to the water service fees collected for new residential units, other sources of funding which may be used include:

General Obligation Bonds

Revenue Bonds

Standby Charges

State and Federal Assistance Program

Certificate of Participation (non-profit corporation) Community Facilities District (Mello-Roos) Assessment Proceedings

Pay-as-you-go (fees and charges)

### **2. Sewer System Concept Plan**

The Victor Valley Wastewater Reclamation Authority (VWVRA) will provide waste water treatment service for this planned community. VWVRA is a regional sewerage facility whose service area includes the Victorville Sanitary District. The VWVRA receives sewage from the Sanitary District's local collector system, which connects to the VWVRA interceptor pipeline along the Mojave River. The regional facility is located approximately eight miles north of Victorville with a plant capacity of 11 million gallons per day (mgd).

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Current flow is 10.5. With proposed expansion to 14mgd. Victorville is currently at 7mgd. An existing 18", "trunk" sewer line in Palmdale Road will serve as the major backbone line for the project. In addition, there are plans, in plan check at the City, for the construction of an 18" sewer in Bellflower Street from Palmdale Road southerly to Luna Road; then westerly in Luna Road to Baldy Mesa Road. Then a 15" sewer in Baldy Mesa Road from Luna Road southerly to La Mesa Road. The Crossings Development will need to construct a 15" sewer in Palmdale Road from Bellflower Street westerly for 3960 feet and then a 12" sewer from Palmdale Road southerly to the project. The Crossings. Development will be required to construct an 18" sewer in Dos Palmas Road from Bellflower Street Westerly for 3960 feet. These lines are shown on Exhibit 12.

In addition to the existing backbone sewer lines new 12" backbone sewer lines are also shown on Exhibit 12. These lines will discharge into the existing trunk lines. The backbone sewer lines will serve as connections for in-tract sewer lines. The in-tract facilities will consist of minimum 8" sewer lines.

### **Implementation**

As development plans are completed for the planning area, additional in-tract systems will be required to provide the sewer collection for the dwelling units. All systems would be completed in accordance with the standards of the City of Victorville and VVWRA.

The following conditions of approval are recommended to be adopted for subdivision maps, which establish individual lots for construction of buildings. These conditions may be waived by the city on a case-by-case basis upon the determination by the city council:

- a. Prior to recordation of the final subdivision map, the City Engineer shall certify that financial arrangements and agreements necessary for sewer services for the subdivision have been entered into with the City of Victorville
- b. No occupancy permits for any dwelling unit, except for model homes, shall be issued until sewage collection and conveyance facilities adequate for the subdivision are determined to be completed and operational by the City of Victorville. Model homes not connected to sewer service shall be conditioned to submit a bond for future connection in an amount to be determined by the City Engineer prior to issuance of building permits. Within two years following the construction of a model home or upon the conveyance of such model home from the builder to an occupant, whichever shall occur first, said model home shall be connected to the community sewer service.
- c. At the time of issuance of building permits, sewer connection fees shall be paid for individual housing units within the Specific Plan, according to the schedule of such fees established by the city council for all new sewer housing units in the city.

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### **3. Drainage Concept Plan**

This project area consists of mainly flat unimproved land sloping to the northeast. The site is void of storm drain improvements. This project is within the City of Victorville but outside of Master Plan of Drainage. However, The Crossings Development does fall into a Master Plan of Drainage for the City of Adelanto. Therefore the drainage system for the project must be processed through both the City of Victorville and Adelanto. The Master Plan is based on a development of one (1) dwelling unit per acre. The City of Victorville requires that the increase in runoff between undeveloped and developed must be detained in onsite detention basins until the peak runoff has passed and then discharged into the existing drainage courses.

It is envisioned that The Crossings Project will probably require a five (5) acre detention basin towards the middle of the project and two (2) detention basins of two (2) acres each, at the northeast and northwest corners of the project. The detained runoff from the larger basin will be discharged into the smaller basins and then outlet into the existing drainage courses. These basins can be incorporate

#### **Implementation**

Drainage course improvements will be integrated into the design of the residential subdivisions to allow the Master Plan of Drainage to flow through the development. The drainage improvement and the in-tract improvements may be constructed on an incremental base as the development is phased. Any increased flow may not be allowed to adversely affect the downstream facilities or properties

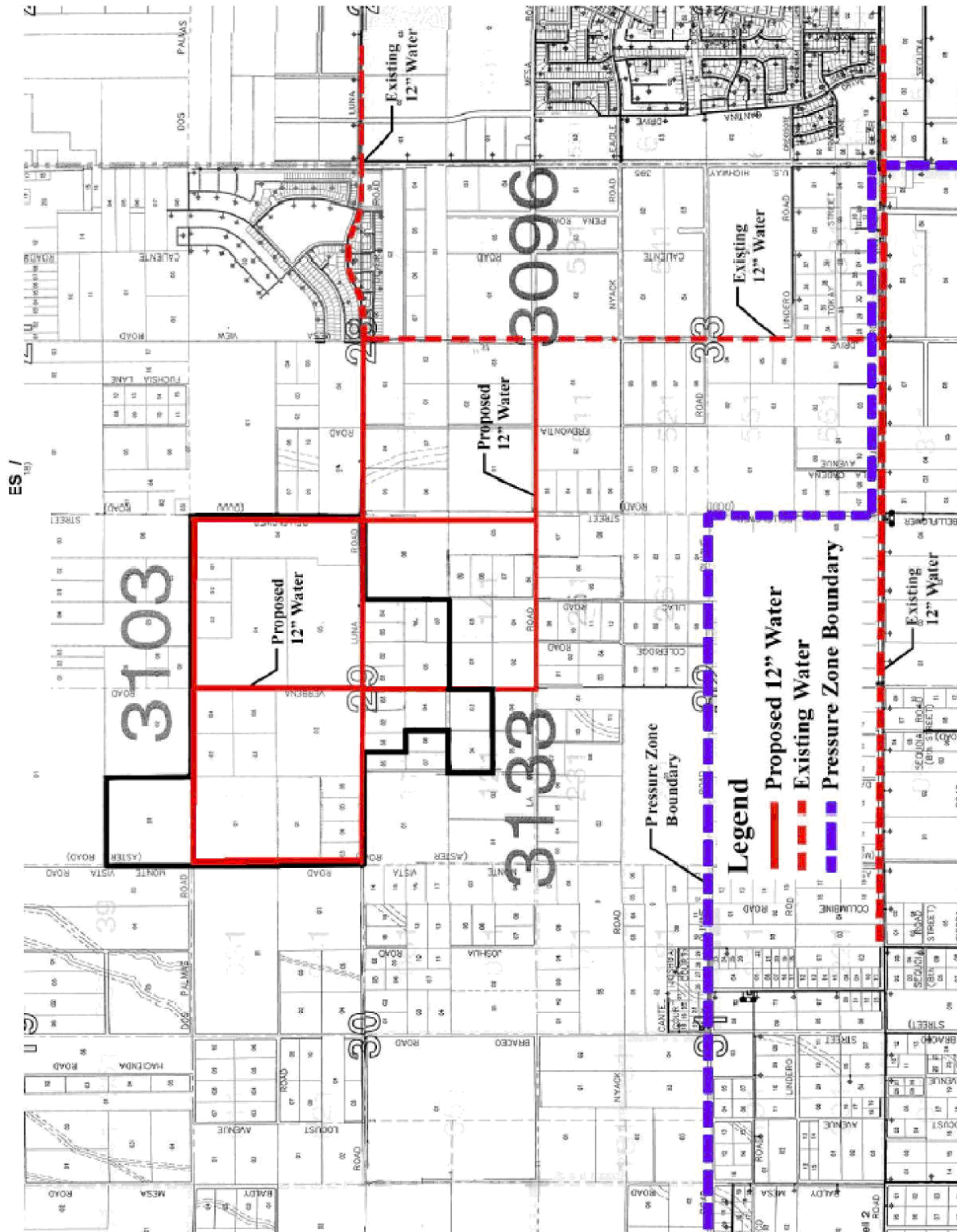
The Developer will construct the projects backbone infrastructures, as the first phase of development begins. These infrastructures will include the permanent and temporary detention basins, all the conduit, swales and/or channels to allow the drainage to traverse the development the remainder of the final drainage facilities will be constructed with the in-tract development.

See exhibit 14.

#### **4. Other Utilities**

The Crossings project lies within the service areas of Southern California Edison Company (electricity), Southwest Gas Corporation (natural gas), Verizon California, Inc. of California (telephone) and Burrtec Waste Industries (solid waste). This utility network can be expanded to meet future demands of the project. All future utility line additions will be placed underground.

EXHIBIT 11 – WATER CONCEPT PLAN



\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

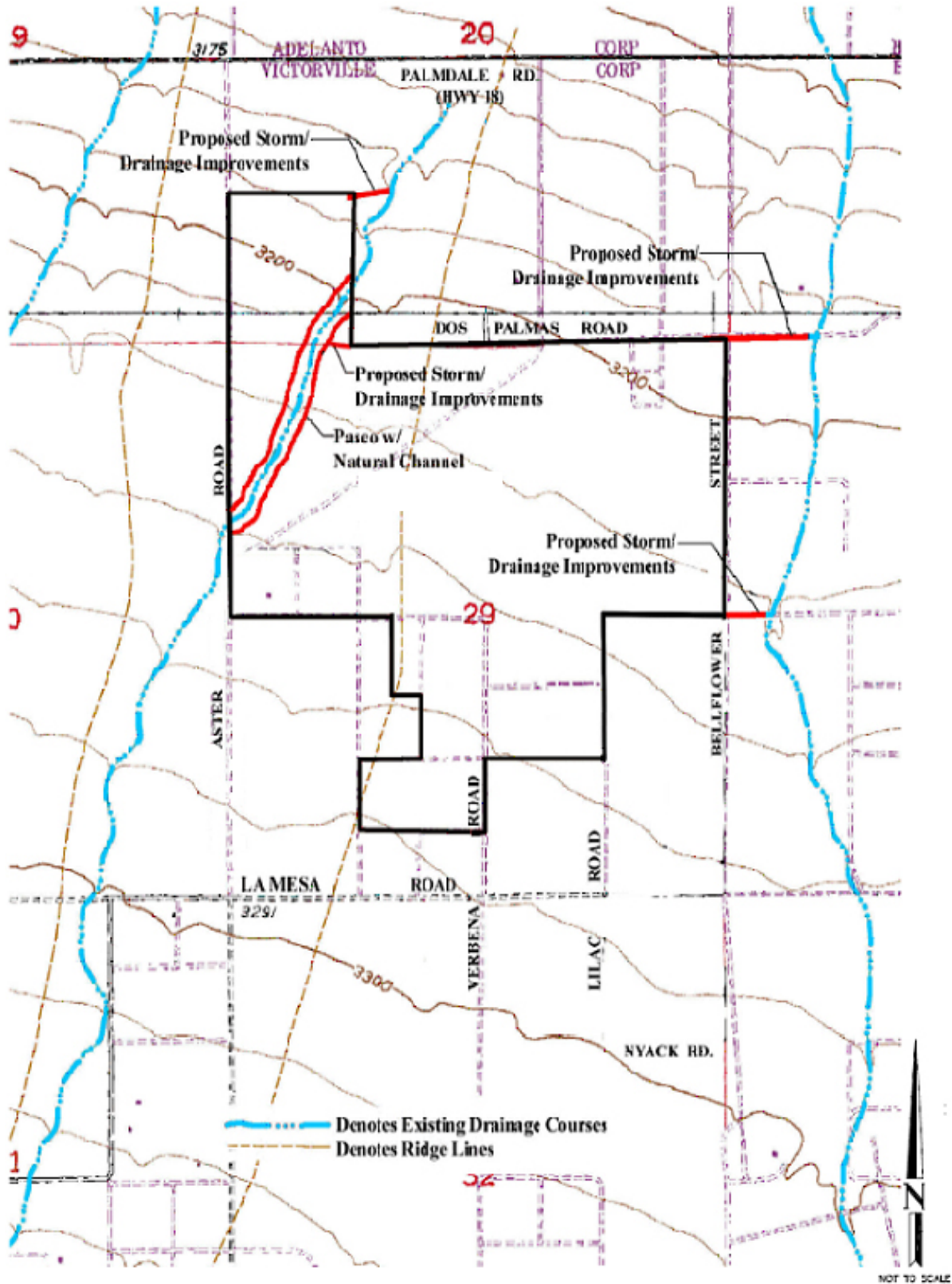
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EXHIBIT 13 – DRAINAGE PATTERN



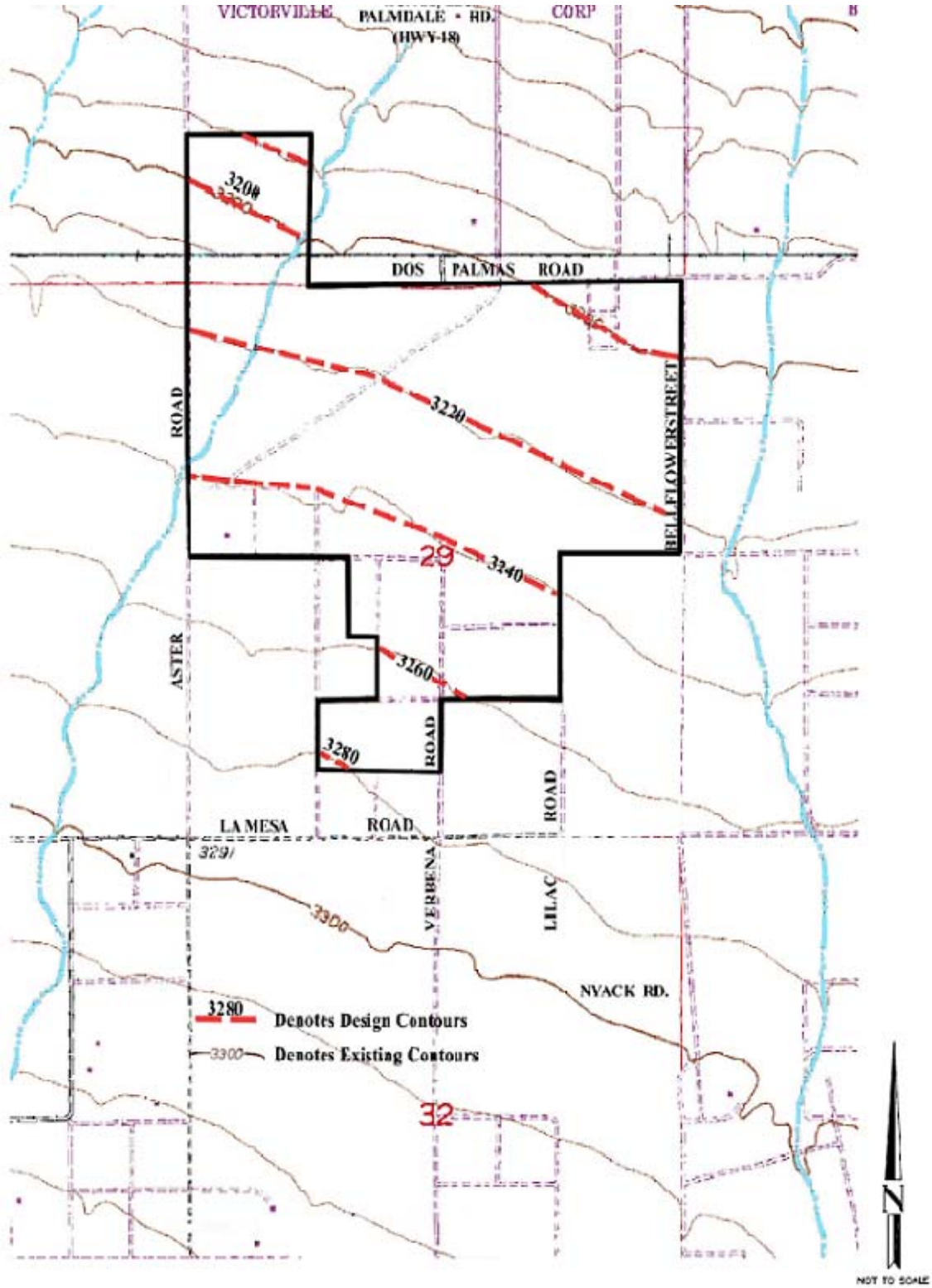
\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

The Crossings

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EXHIBIT 14 – GRADING PLAN CONCEPT



\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

## SECTION V - DEVELOPMENT REGULATIONS

### A. MULTI-FAMILY RESIDENTIAL UP TO 18 DU/AC

The following development standards replace the City of Victorville Zoning ordinance for development of Multi-Family Residential neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.

Criteria	Up To 18 DU/AC
<b>All setbacks are measured from property line unless otherwise noted</b>	
<b>MINIMUM SETBACKS</b>	
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES FROM ADJACENT PARCEL PL	
<ul style="list-style-type: none"> <li>▪ Single Story Element</li> <li>▪ Two Story Element and/or Two and one half story element</li> </ul>	10' 20'
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES ADJACENT TO STREET R.O.W. AT PARCEL PERIMETER	
<ul style="list-style-type: none"> <li>▪ Single Story Element</li> <li>▪ Two Story Element and/or Two and one half story element</li> </ul>	10' 20'
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES ADJACENT TO PARK, OPEN SPACE, LANDSCAPE AREAS ADJACENT TO PERIMETER STREETS.	
<ul style="list-style-type: none"> <li>▪ Single Story Element</li> <li>▪ Two Story Element and/or Two and one half story element</li> </ul>	10' 10'
LIVING AREA OR PORCH FROM PRIVATE STREET OR PARKING	10' from back of sidewalk or curb if there is no sidewalk.
GARAGE FACE SETBACK FROM PRIVATE STREET	18'+ from back of sidewalk or curb if there is no sidewalk.
<b>LOT COVERAGE</b>	65% Maximum
<b>BUILDING SEPARATION</b>	
BALCONY TO BALCONY	30'



<b>Criteria</b>	<b>Up To 18 DU/AC</b>
BALCONY TO NON-BALCONY	20'
NON-BALCONY TO NON-BALCONY	15'
BETWEEN MAIN BLDG. & ACC. STRUCTURE	10'
<b>MAXIMUM BUILDING HEIGHT</b>	
PRINCIPAL BUILDINGS	35' Subject to setback criteria above
ACCESSORY STRUCTURES	14'
<b>MINIMUM OPEN SPACE</b>	
COMMON OPEN SPACE	100 Sq. Ft. / Unit
<b>PARKING</b>	
<b>MINIMUM NO. OF SPACES REQ'D.</b>	
Studio or 1 bedroom units	1.5 / Unit – covered
Two bedroom units	2 / Unit – covered
Units with more than 2 bedrooms	2.5 / Unit – covered
Senior housing	1 covered or enclosed space / Unit
Visitor/on-street parking	0.2 / Unit

1. See Footnotes in Section G.

## B. SMALL LOT RESIDENTIAL (ATTACHED) – UP TO 11 DU/AC

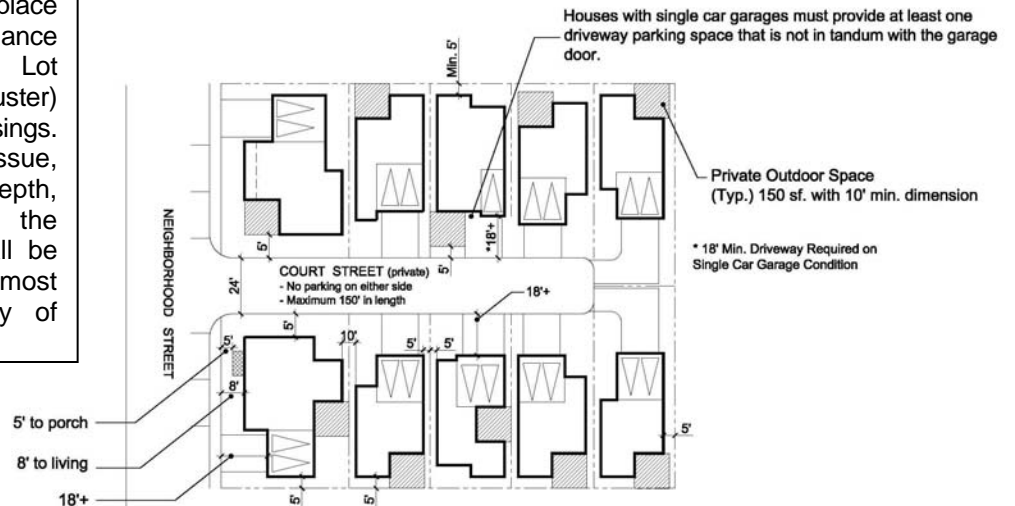
The following development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Attached) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville’s Municipal code.

Criteria	UP To 11 DU/AC
<b>MINIMUM SETBACKS</b>	
(All setbacks measured from property line unless otherwise noted.)	
FRONT	8' to living 5' to porch
SIDE	
• Interior Lots	5'
• Corner side	10'
REAR	5'
<b>GARAGE</b>	
• Front entry	18'+
• Alley Loaded Garage	18'+ from back of curb
• Turn-In Garage	10'
REAR PATIO COVERS	10'
<b>MAXIMUM BUILDING HEIGHT</b>	
MAIN STRUCTURE	35' (2 ½ -Stories Max.)
LOT COVERAGE	65% Maximum
<b>MINIMUM OPEN SPACE</b>	
COMMON OPEN SPACE	10,000 Sq. Ft. minimum + 50 Sq. Ft per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'
PRIVATE OPEN SPACE	150 Sq. Ft./ Unit with a 10' minimum dimension
<b>PARKING</b>	
MINIMUM NO. OF SPACES REQ'D.	
• Resident Parking	2 Spaces / Unit – covered
• Visitor/on-street Parking	0.2 Spaces / Unit

1. See Footnotes listed in Section G.

## C. SMALL LOT RESIDENTIAL (MINI-LOT CLUSTER) UP TO 11 DU/AC

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Cluster) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.



### MINIMUM DEVELOPMENT STANDARDS (CLUSTER HOUSING) <sup>1 & 3</sup>

Building Setback (All setbacks measured from property line unless otherwise noted.)

- |                       |                                     |
|-----------------------|-------------------------------------|
| • Neighborhood Street | 8' Setback to living<br>5' to porch |
| • Court Street        | 5' from back of curb                |
| • Side Property Line  | 5'                                  |
| • Rear Property Line  | 5'                                  |

#### Garage Face Setback

- |                            |                    |                        |
|----------------------------|--------------------|------------------------|
| • From Neighborhood Street | 1 or 2 car garages | 18'+                   |
| • From Court Street        | 1-car garages      | 18'+ from back of curb |
|                            | 2-car garages      | 18'+ from back of curb |

#### Patio Cover Setback

5'

#### Rear 2nd Story Balcony Setback

7'

#### Building Height

35' (2 ½ -Stories Max.)

#### Lot Coverage

65% Maximum

#### Private Outdoor Space <sup>2</sup>

150 Sq. Ft. with 10' Minimum Dimension  
(May be located in front, side or rear of residence)

#### Common Open Space

10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'

#### Court Street Width

24' Minimum (Maximum 150' in length with no parking on either side. Red painted curbs)

#### Parking

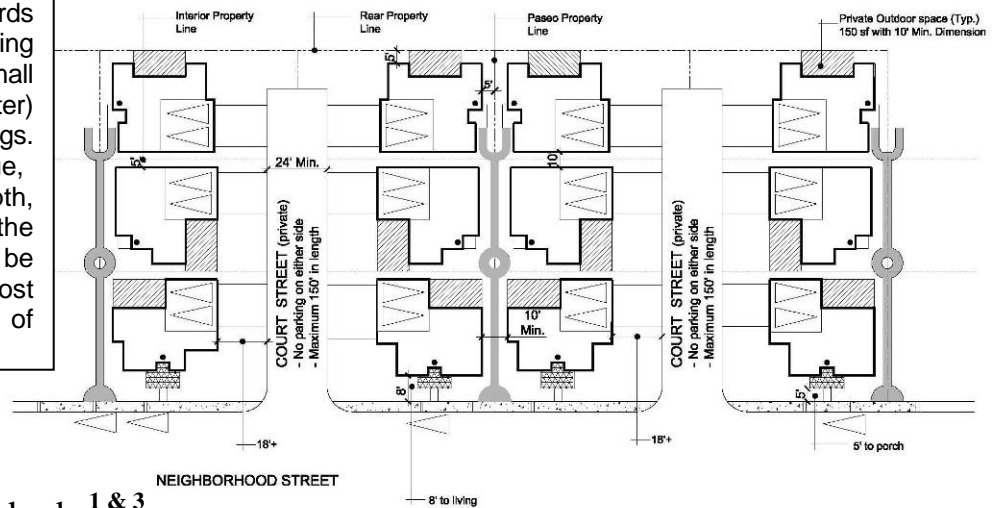
Resident	2 Spaces / Unit - covered
Visitor*	0.2 Spaces / Unit

1. Maximum of ten units per cluster, of which only 8 units may have a driveway on the court street.
2. Private yard space may be in front, side, rear or interior to dwelling unit, provided such space is at least 75% open to the sky.
3. See additional Footnotes in Section G.

Note: Diagram is conceptual only. Final building footprints and layout will vary.

## D. SMALL LOT RESIDENTIAL Up to 11 Du/Ac

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Cluster) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.



### Minimum Development Standards 1 & 3

#### Building Setbacks:

(All setbacks are measured from property line unless otherwise noted.)

• From Neighborhood Street	8' setback to living 5' to porch
• From Court Street	5' min. to living area, porch, courtyard/patio gate 18'+ to garage face from back of curb
• From Side Property Line	5'
• From Rear Property Line	5'
• From Paseo Property Line	5'
Patio Cover Setback	5'
Rear 2nd Story Balcony Setback	7'
Building Height	35' (2 ½ -Stories Max.)
Lot Coverage	65% Maximum
Private Outdoor Space <sup>2</sup>	150 Sq. Ft with 10' minimum dimension (May be located in front, side or rear of residence)
Common Open Space	10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'
Drive Aisle Width	24' Minimum (Maximum 150' in length with no parking on either side. Red Painted curbs)
Parking	Resident 2 Spaces / Unit - covered Visitor/on-street 0.2 Spaces / Unit

1. Maximum of eight units per cluster.
2. On interior lots, Private yard space may be in front, side, rear or interior to dwelling unit, provided such space is at least 75% open to the sky. On perimeter lots, private yard space must be adjacent to the parcel boundary to provide articulation to the building mass on perimeter conditions.
3. See additional Footnotes in Section G.

Note: Diagram is conceptual only. Final building footprints and layout will vary.

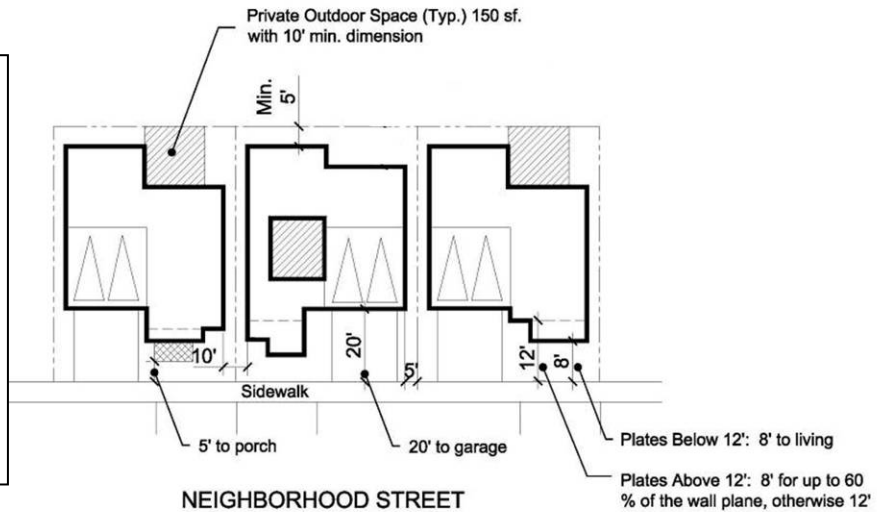
### The Crossings

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## E. SMALL LOT RESIDENTIAL (MINI-LOT CONVENTIONAL) UP TO 11 DU/AC

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Conventional) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.



### MINIMUM DEVELOPMENT STANDARDS (CONVENTIONAL MINI-LOTS)<sup>2</sup>

Building Setback (All setbacks are measured from property line unless otherwise noted.)

• From Neighborhood Street	8' Setback to living 5' to porch
• From Side Property Line	5'
• From Rear Property Line	5'
Garage Face Setback	20'
Patio Cover Setback	5'
2nd Story Balcony Setback	7'
Building Height	35' (2 ½ -Stories Max.)
Lot Coverage	65% Maximum
Private Outdoor Space <sup>1</sup>	150 Sq. Ft. with 10' Minimum Dimension (May be located in front, side or rear of residence)
Common Open Space	10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'
Parking	Resident 2 Spaces / Unit – covered Visitor 0.2 Spaces / Unit

1. On interior lots, Private Yard space may be in front, side, rear or interior of unit, provided such space is at least 75% open to the sky. On perimeter lots, private yard space must be adjacent to the parcel boundary to provide articulation to the building mass on perimeter conditions.
2. See additional Footnotes in Section G.

Note: Diagram is conceptual only. Final building footprints and layout will vary.

## F. MEDIUM AND LOW RESIDENTIAL

The following development standards replace the City of Victorville Zoning Ordinance for development of Medium and Low Residential neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width, and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.

Criteria	MEDIUM RESIDENTIAL (UP TO 7 DU/AC)	LOW RESIDENTIAL (UP TO 5 DU/AC)
<b>MINIMUM SETBACKS <sup>1</sup></b>		
<b>(ALL SETBACKS MEASURED FROM PROPERTY LINE UNLESS OTHERWISE NOTED.)*</b>		
<b>FRONT - LIVING AREA OR PORCH</b>		
• Single Story Element	10'	10'
• Two Story Element	10' for up to 60% of the wall plane; otherwise 15'	15'
<b>FRONT ENTRY GARAGE</b>		
	20'	20'
<b>TURN-IN GARAGE</b>		
	10'	10'
<b>SIDE</b>		
• Interior Lots	5'	5'
• Perimeter Lots & Parcel Entry (Siding to any community level roadway or open space)	5' for single story element with no gable end, or 10' for two story element or single story element with a gable end	5' for single story element with no gable end, or 10' for two story element or Single story element with a gable end
<b>CORNER SIDE</b>		
• Single Story Element	10'	10'
• Two-Story Element	10'	15'
<b>REAR</b>		
• Interior Lots	15' except that 10' allowed for up to 50% of the product width	20' except that a setback of 15' is allowed for up to 50% of the product width
• Perimeter Lots (Backing to any community level roadway or open space)	Same as Interior Lots, except that no more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 5' is required	Same as Interior Lots, except that no more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 5' is required
<b>REAR PATIO COVERS</b>		
	10'	10'
<b>ACCESSORY STRUCTURES</b>		
• Maximum 14' Bldg. Ht.	Front: 10' <sup>(4)*</sup> Side : 5' Rear: 5'	Front: 10' Side : 5' Rear: 5'

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

Criteria	MEDIUM RESIDENTIAL (UP TO 7 DU/AC)	LOW RESIDENTIAL (UP TO 5 DU/AC)
<ul style="list-style-type: none"> <li>Greater Than 14' Bldg. Ht.</li> </ul>	Front: 15' <sup>(4)</sup> * Side: 5' Rear: <ul style="list-style-type: none"> <li>5' if no window openings facing rear PL</li> <li>10' if window openings face rear PL</li> </ul>	Front: 15' <sup>(4)</sup> * Side: 5' Rear: <ul style="list-style-type: none"> <li>5' if no window openings facing rear PL</li> <li>20' if window openings face rear PL, except that a setback of 15' is allowed for up to 50% of the width of the main structure</li> </ul>
<ul style="list-style-type: none"> <li>Minimum Separation from Main Building</li> </ul>	10'	10'

### COURTYARD WALLS

<ul style="list-style-type: none"> <li>Less than 32" in height</li> </ul>	Front: 5' Interior Side: 0' Corner Side: 0'	Front: 5' Interior Side: 0' Corner Side: 0'
<ul style="list-style-type: none"> <li>Greater than 32" in height (Including corner side yard privacy wall or fence)</li> </ul>	Front: 10' Interior Side: 0' Corner Side: 5'	Front: 10' Interior Side: 0' Corner Side: 5'

### MAXIMUM BUILDING HEIGHT

MAIN STRUCTURE	35'	35'
ACCESSORY STRUCTURE		
<ul style="list-style-type: none"> <li>Single Story Structures</li> <li>Two Story Structures</li> </ul>	14' 35'	14' 35'
<b>LOT COVERAGE</b>	Single Story – 65% Max. Two Story – 55% Max.	Single Story – 60% Max. * Two Story – 55% Max.

### COMMON OPEN SPACE

Minimum Amount Required	25 SF / Unit	Common Open Space is not required
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### PARKING

<ul style="list-style-type: none"> <li>RESIDENT – COVERED*</li> <li>VISITOR</li> </ul>	2 SPACES / UNIT 0.2 SPACE / UNIT	2 SPACE / UNIT 0.2 SPACES / UNIT
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### DESIGN VARIATION

<ul style="list-style-type: none"> <li>10-119 Homes</li> </ul>	3 Plans 3 Elevations per plan	3 Plans 3 Elevations per plan
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\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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- 
- |                     |   |                                  |
|---------------------|---|----------------------------------|
| • 120 Homes or More | 4 Plans<br>3 Elevations per plan  | 4 Plans<br>3 Elevations per plan |
| • Color Schemes     | No home on either side or directly across the street from a dwelling shall have the same color scheme.  |                                  |
| • Distribution      | No identical plan and elevation are permitted side by side. Opposite hand footprints with different elevations and color schemes are permitted on up to 2 adjacent dwellings. |                                  |
- 

1. See additional Footnotes listed in Section G.



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## G. FOOTNOTES

1. All setbacks are measured from property line unless otherwise noted.
2. Architectural projections may project a maximum of 3 feet into the required front, rear or side setback areas, excepting within the required area in front of the garage. However, in no case shall such projection be closer than 5 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as, media niches, bay windows, chimneys, balconies, and other similar elements. Such architecture projections may be supported by a foundation.
3. Window and door pop-out surrounds, pot shelves, enhanced window sills, shutter details, window trim, entry gates and projecting eaves shall be governed by the provisions of the Uniform Building Code (UBC), Section 503.2 and Section 705.
4. For parcels up to 7 Du/Ac accessory structures that are provided, as detached garages shall have a driveway setback that is 20' for front entry garages or 10' for side entry garages. For parcels between 7.1 Du/Ac to 11 Du/Ac accessory structures that are provided as detached garages shall have a driveway setback of 18' or greater.
5. On parcels adjacent to a perimeter landscape area with pedestrian pathways, one of the following pedestrian access concepts must be provided along each parcel edge having such frontage (see Exhibit 15):
  - At least 1 Pedestrian Way for every 1000 feet of frontage  
or
  - At least 1 View Cul-De-Sac for every 2000 feet of frontage  
or
  - At least 1 View Court for every 2000 feet of frontage (For Small Lot Residential subdivisions only)\*
6. The minimum square footage of common open space shall be as indicated in the Development Standard matrix for each land use category. The balance of any cumulative common open space requirement that exceeds 10,000 Sq. Ft. may be distributed throughout the project as the builder desires. Common usable open space must have a minimum dimension of 20' x 20'.

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

## EXHIBIT 15 – PEDESTRIAN CONNECTIONS

### PEDESTRIAN CONNECTIONS

On parcels adjacent to a perimeter landscape area with pedestrian pathways, one of the following pedestrian access concepts must be provided along each parcel edge having such frontage:

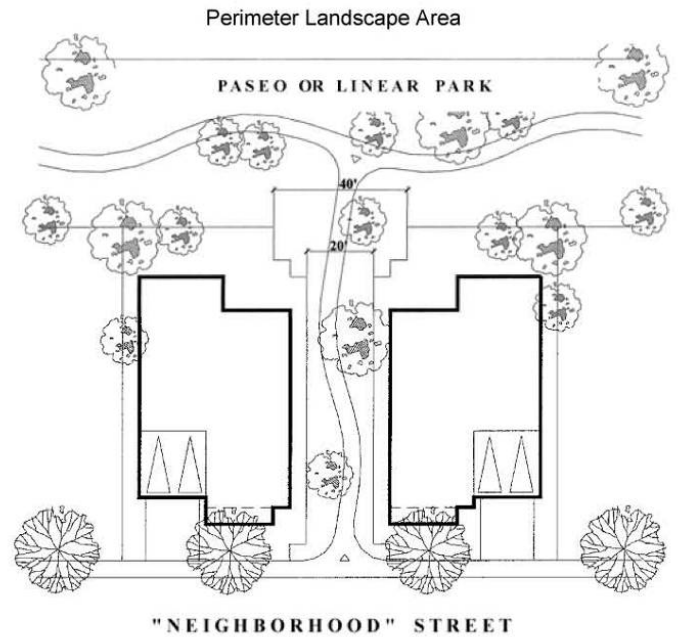
A. At least 1 Pedestrian Way for every 1000 feet of frontage

OR

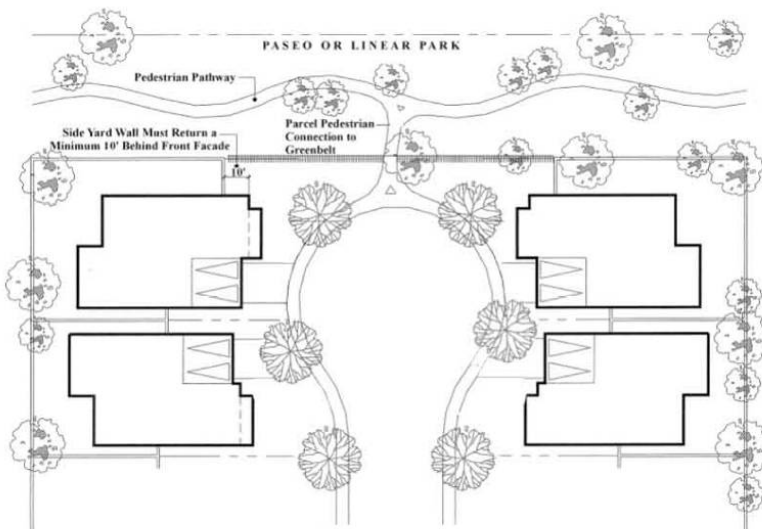
B. At least 1 View Cul-De-Sac for every 2000 feet of frontage

OR

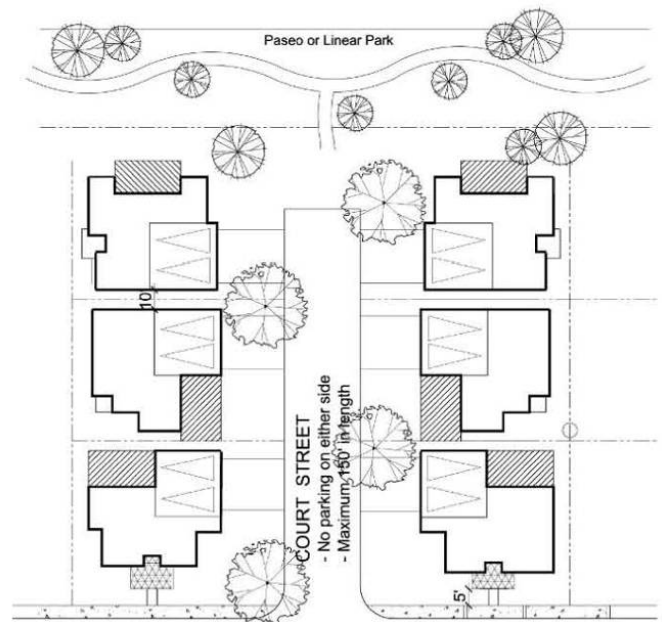
C. At least one view court street for every 2,000 feet of frontage



**A. PEDESTRIAN WAY**



**B. VIEW CUL-DE-SAC**



**C. COURT STREET**

(For Small Lot Residential subdivisions only)\*

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## **H. GENERAL PROVISIONS**

### **1. PURPOSE AND OBJECTIVES**

Upon adoption of The Crossings Specific Plan, the development standards and procedures established herein will become the governing zoning regulations and standards for land uses within The Crossings Specific Plan area.

The Crossings development standards have been established to protect and promote the public health, safety, convenience, and welfare of Victorville residents and the public as a whole. The development standards herein were developed in compliance with the spirit and intent of the Victorville General Plan, and the City's Zoning and Development Code. The purpose of these standards is to provide for the classification of land uses and to define specific regulations for the orderly development of The Crossings Specific Plan.

### **2. PLANNING AREA SUMMARY AND STATISTICAL LISTING**

The Land Use Summary in Table 1 provides an easily referenced summary of the information illustrated on the Land Use Plan, Exhibit 8.

### **3. DEFINITION OF TERMS**

Words, phrases and terms not specifically defined herein shall have the same definition as provided in the City Zoning and Development Code.

### **4. GENERAL PLAN CONSISTENCY**

The Crossings Specific Plan has been found to be consistent with all elements of the Victorville General Plan by the approval and adoption process of the Planning Commission and City Council. Refer to Section III, General Plan, for a more detailed discussion of specific elements.

### **5. DEVELOPMENT CODE CONSISTENCY**

Any details or regulations not specifically covered by these development standards shall be subject to the regulations of the Victorville Zoning and Development Code and applicable local, state and federal regulations. In case of differences between the development standards and the City's Zoning and Development Code, these Specific Plan development regulations shall prevail.

### **6. VALIDITY**

If any section, subsection, sentence, clause, phrase, or portion of The Crossings Specific Plan is for any reason held to be invalid by the decision of any court or competent jurisdiction, such decision shall not affect the validity of the remaining portions of this

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plan.

## **7. OTHER CODES**

All construction shall comply with applicable provisions of the Uniform Building Code and various other mechanical, electrical, and plumbing codes in effect at the time of construction.

## **8. INTERPRETATION**

These regulations shall be held to be minimum requirements in their application and interpretation. No provision herein is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. If there is dispute regarding the interpretation of any of these regulations, the City of Victorville Planning Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he/she may appeal to the City Council for a final determination.

## **9. PLANNING AREA PERMITTED DENSITY**

The dwelling unit density permitted in any residential planning area, as designated in The Crossings Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall Specific Plan project maximum of 2656 dwelling units is not exceeded and b) minimum standards within the respective land use category are maintained.

## **10. BUILDING CONSTRUCTION**

All building construction within the Specific Plan shall comply with applicable building codes.

## **11. INTERIM USES**

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

## **12. CITY COUNCIL DECLARATION / SEVERABILITY**

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

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### **13. PERMITTED TEMPORARY USES**

In order to facilitate the development of the project, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Director of Planning or his / her designee:

- a. Temporary construction facilities and parking compounds for contractors' equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- b. Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are regulated by the City sign ordinance, Chapter 18.62 of the Municipal Code.
- c. Christmas tree and Halloween pumpkin sales.
- d. Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- e. Model homes, temporary real estate offices, temporary on-site construction offices, and any model homes to be used as a temporary tract sales office.

### **14. OPEN SPACE ZONE DEVELOPMENT REGULATIONS**

The following community support uses for open spaces shall be permitted consistent with The Crossings Specific Plan.

#### **1. OPEN SPACE/PARK (OS/P)**

- a. Permitted Uses
  - Landscaped Open Space;
  - Public paseos, trails and recreational facilities;
  - Accessory buildings, structures, parking lots and uses related and incidental to the above;
  - Public botanical gardens.
- b. Site Development Standards
  - Subject to review at the time of submittal by the City of Victorville.

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## 2. PUBLIC / UTILITY CORRIDOR (P/UC)

### a. Permitted Uses

- Natural open space;
- Hiking, bicycle and equestrian trails and facilities;
- Activity fields (soccer);
- Parking Lots;
- Other similar uses which are found by the Planning Department to be consistent with the intent of this land use classification.

### b. Site Development Standards

- Subject to review by the agency that owns or has an easement on the property and the City of Victorville.

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## **SECTION VI- PLAN IMPLEMENTATION**

### **A. METHODS AND PROCEDURES**

Once The Crossings Specific Plan is adopted, it will serve as the Zoning and General Plan implementation document for the property in conjunction with City Municipal Code.

The methods and procedures for implementation and administration of this Specific Plan document are as follows:

#### **1. SPECIFIC PLAN ADOPTION**

Government Code Section 65453(a) states that:

A Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body."

The Crossings Specific Plan will be adopted by Ordinance in accordance with City policy.

The Crossings Specific Plan has been developed as both a regulatory document and a land use policy plan. The development regulations have been structured in a format consistent with the City of Victorville Zoning and Development Code, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the The Crossings Specific Plan are oriented to land use policies and include background and project information, planning policies, design criteria, conceptual plans and infrastructure conceptual plans.

### **B. CHANGES IN THE SPECIFIC PLAN**

#### **1. ADMINISTRATIVE CHANGES**

The following changes in the Specific Plan may be made administratively by the Director of Planning:

- a. Adjustments in the Planning Area boundaries, not to exceed a cumulative total of 20 percent of the original size shall not require an amendment of the Specific Plan where such adjustments are consistent with the intent of the City General Plan and this Specific Plan.

Boundaries not dimensioned in the Specific Plan shall be established by the tentative or final subdivision map.

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- b. The addition of new information to the Specific Plan maps or text for the purpose of clarification that does not change the effect or intent of any regulation;
  - c. Changes to the community infrastructure such as drainage systems, roads, water and sewer systems, etc., which do not have the effect of significantly increasing or decreasing capacity in the project area beyond the specified density range, and do not otherwise change the intent of any provision of this plan;
  - d. A "transfer" of dwelling units between Planning Areas and between residential classifications;
  - e. A "transfer" of acreage between Planning Areas, not to exceed twenty percent (20%) of the acreage within the Planning Area in question as long as the overall density and number of lots in the Specific Plan is not exceeded;
  - f. The Director of Planning shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person adversely affected by such an interpretation may request that such interpretation be reviewed by the Planning Commission;
  - g. In approving or conditionally approving a minor adjustment, the Director of Planning shall find that because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of development standards contained herein deprives such property of privileges enjoyed by other properties in the vicinity. In addition, the Director of Planning shall find:
    - 1. There are practical reasons or benefits of improved design which justify a deviation from prescribed development standards;
    - 2. The adjustment, with any conditions imposed, will provide equal or greater benefit to adjacent property;
    - 3. The adjustment is not in conflict with the objectives of the General Plan or the general intent of this Specific Plan;
    - 4. An adjustment in any site development standard by not more than ten percent (10%) of that otherwise specified herein;
  - h. Upon appeal to the Planning Commission of any decision of the Director of Planning made pursuant to this Section, the Planning Commission shall set the matter for hearing in a manner prescribed in the Victorville Municipal Code Zoning Ordinance.



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## **2. SPECIFIC PLAN AMENDMENTS**

The following changes to the Specific Plan shall require an amendment to the Specific Plan:

- a. Changes to the text or maps of the Specific Plan that would materially change the effect of any regulation described within this Specific Plan;
- b. Changes in the Specific Plan land use district boundaries beyond twenty percent (20%);
- c. Increase in dwelling unit density beyond the specified total density range identified in Table 1. The density range is based on gross acres;
- d. Changes in infrastructure such as drainage systems, roads, water and sewer systems, etc., which have the effect of significantly increasing or decreasing capacity beyond the specific density range in the project area;
- e. Major changes in the designated alignment or location of the backbone infrastructure system;
- f. Any other additions or deletions which may materially change the effect any regulation.

## **3. SPECIFIC PLAN PROVISIONS**

### Amendment Procedures

The following procedures, as outline in California Government Code Section 65500, are required to be followed when adoption of an amendment to a Specific Plan is desired:

- a. An application, with any necessary supporting documentation along with the required fee, shall be submitted to the Director of Planning stating in detail the reasons for and nature of the proposed amendment;
- b. Before taking an action on a proposed amendment to the Specific Plan, the Planning Commission must hold at least one public hearing. Notice for this hearing shall be given at least ten (10) days in advance and must be published at least once in a newspaper of general circulation;
- c. The recommendation of an amendment to the Specific Plan shall be approved by a resolution carried by a majority of the total voting members of the Planning Commission;

- 
- d. The recommendation of the Planning Commission together with additional related documents and information shall be transmitted to the City Council. The transmittal may also include any pertinent information with regard to the reasons for the Planning Commission decision;
  - e. The City Council shall hold at least one public hearing for each proposed amendment pursuant to the provisions of the California Government Code. The action of the City Council shall be to approve, disapprove or conditionally approve the proposed amendment to the Specific Plan and to adopt the necessary resolution or ordinance, as appropriate;
  - f. An amendment to the Specific Plan may be initiated by the City of Victorville. The City Council shall first refer such proposal to the Planning Commission for report. Notice of the referral must be provided to all property owners within The Crossings' Specific Plan Area, no later than 10 days after the referral. The Planning Commission shall report within forty (40) days after the request by the City Council. Before adopting the proposed plan or amendment the City Council shall hold at least one public hearing. Notice of the time and place of hearing held pursuant to this section shall be given in the time and manner provided for the giving of notice of hearings by the Planning Commission as specified above;
  - g. Amendments to the Specific Plan can also be requested by a property owner of record within the study area. Such amendments require that actual development be proposed by the applicant (to minimize speculation) and submitted to the Director of Planning, unless the Director determines that certain materials are not required. The Director of Planning shall review all requests for amendments and prepare a report and recommendation for submission to the Planning Commission, and thereafter to the City Council.

All proposed amendments to the Specific Plan shall be processed and acted upon pursuant to the Zone Change amendment provisions contained in the City of Victorville Municipal Code Zoning Ordinance.

## **C. IMPLEMENTATION**

The Crossings Development Plan shall be implemented through the processing of tract maps, parcel maps, development plans, and site plans. The implementation process, as described below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

### **1. APPLICABILITY**

All development within The Crossings Specific Plan shall be subject to the Implementation procedures described herein.

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## **2. DEVELOPMENT REVIEW PROCESS**

Tentative Tract / Parcel Maps, Development Plans, and Site Plans for development within a Specific Plan area shall be submitted to the Planning Division for review and processing. Tentative Maps/Parcel Maps, Development Plans, and Site Plans shall be prepared and submitted in accordance with City requirements and local codes (Victorville Municipal Codes). They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

### **D. REVIEW PROCEDURES**

The Crossings Specific Plan may be implemented through the large lot tentative tract map and the tentative tract map review process. A development plan is also required upon submittal of a parcel tentative tract map.\*

#### **1. LARGE LOT TENTATIVE TRACT MAP**

A large lot tentative tract map is intended for parcelization and financing purposes. It addresses only large parcels and is not intended for construction purposes. The large lot tentative tract map submittal shall meet all requirements stipulated by the Subdivision Map Act. It may be filed prior to, concurrent with or subsequent to a Specific Plan or other tentative tract maps (those for construction purposes).

#### **2. PARCEL / TENTATIVE TRACT MAP**

A tentative tract map or parcel map, as applicable, shall be filed for all projects within Victorville, subject to the provisions as stipulated in Chapters 17.04 through 17.103 et seq. of the City of Victorville Municipal Code Subdivision Ordinance. After map approval, the final map may be recorded and building permits may be issued. This process may include the parcelization of a lot or lots for future use or as a cluster development site. Submittal requirements shall be as specified in the City of Victorville's Zoning and/or Subdivision Ordinance.

### **E. PARCEL / TENTATIVE TRACT MAP REVIEW REQUIREMENTS**

The Director of Planning shall not accept any parcel/tentative tract map application until it contains a certification from the Master Developer that the proposed map conforms to these Design Guidelines.

#### **1. GENERAL PROVISIONS**

Parcel/Tentative tract maps shall comply with the review requirements established in titles of City of Victorville Municipal Codes entitled "Zoning" (Title 18) and "Subdivision" (Title 17).

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

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## **2. PARCEL / TENTATIVE TRACT MAP REVIEW PROCEDURES**

The Parcel/Tentative Tract Map review process involves two steps: the pre-application conference and Parcel/Tentative Tract Map submission review and approval.

### **a. Pre-application Conference**

This is intended to provide the Planning Department with knowledge about the developer's intent and to provide the developer an understanding of what is required to develop under The Crossings Specific Plan.

There are no particular requirements for submission of materials and plans by a developer at a pre-application conference. However, the more information the developer has, the more response he may get from the conference. Staff shall explain all relevant City Ordinances and Specific Plan provisions.

Another function of the pre-application conference is to determine levels of information necessary to implement satisfactorily all provisions of this Specific Plan. Further, submittal and review schedules meeting statutory and staff and workload requirements, shall also be established as part of the pre-application conference.

The Director of Planning may choose to form a pre-application conference team, which routinely conducts this function. This team may include members of the planning staff, and others from related departments such as engineering, public works, traffic, and police and fire, and the City Manager's office.

### **b. Parcel/Tentative Tract Map Submission**

All Tentative Tract Map review requirements contained in the City of Victorville Subdivision code shall apply upon formal submittal of a Parcel/Tentative Tract Map.

## **F. SUBDIVISION REVIEW PROCEDURES**

Refer to the City of Victorville requirements for the exact format and content.

## **G. NON-CONFORMING USES, BUILDINGS, AND STRUCTURES**

Those provisions contained within the Municipal Code shall apply.

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## **H. ENFORCEMENT**

Enforcement of these provisions shall be as stated below:

1. The Director of Planning shall have the duty to enforce the provisions of this Specific Plan;
2. The Director of Planning shall have the duty to interpret the provisions of the Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission;
3. Upon adoption of The Crossings Specific Plan, the development standards and procedures established herein will become the governing zoning regulations and standards for land uses within The Crossings Specific Plan area. Any details, regulations, not specifically covered by The Crossings Specific Plan shall be subject to the City of Victorville Municipal code. Terms used herein shall have the same meaning as defined in the City of Victorville Municipal Code unless otherwise defined herein;
4. Any details or issues not specifically covered by this Specific Plan shall be subject to the regulations of the City of Victorville Municipal Code;
5. All construction within the boundaries of the Specific Plan shall comply with all provisions of the Uniform Building Code and the various mechanical, electrical, plumbing, fire and security codes adopted by the City of Victorville;
6. Any land use not specifically designated in The Crossings Specific Plan shall be deemed unlawful, unless the Director of Planning finds such use to be consistent with:
  - a) uses specifically designated in the Specific Plan; or
  - b) to general goals and intent of the Specific Plan.
7. If any regulation, condition, program or portion thereof of the Specific Plan is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

## **I. MASTER DEVELOPER'S RESPONSIBILITY FOR SPECIFIC PLAN IMPLEMENTATION**

It is the Master Developer's responsibility to implement this Specific Plan. The Master

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Developer will review all phases of design and construction of The Crossings

project to ensure that it is developed in a manner consistent with the design criteria established in The Crossings Specific Plan. However, in the event that the property is transferred to another Developer the current Master Developer will work with the new Developer and the Director of Planning of the City of Victorville to ensure an appropriate transition of its responsibilities for The Crossings project to the new Developer.

**J. THRESHOLD FOR COMMON OPEN SPACES, COMMUNITY FACILITIES AND STREETSCAPE LANDSCAPING IMPROVEMENTS**

Common open space, community facilities and streetscape landscaping improvements will be provided according to the following schedule:

**Community Park:** The community park shall be completed within 18 months of the issuance of the first residential certificate of occupancy within The Crossings Specific Plan. In the event this park is to be dedicated to the City for public use, the Community Services Department must review and approve the design plans, materials, and construction process.

**Detention Basins:** Detention Basin Landscaping shall be completed at the time the detention basin is completed.

**Streetscape Landscaping:** The roadside walking paths and drought tolerant landscaping shall be completed within 90 days of the completion of each roadway as determined by the City Engineer.

**Tract Open Space and Pathways:** The required open space, including pathways for each individual tract shall be installed prior to issuance of 50 percent of the residential certificates of occupancy for each tract.

**K. COMMUNITY FACILITY AND OPEN SPACE/ MAINTENANCE**

Generally, all facilities such as landscape areas, parkways and trails will be funded and perpetually maintained through the creation of a special assessment district and/or other similar type districts. Land belonging to other private, public and quasi-public agencies will be maintained by those entities.

Parkways and landscape areas may be offered for dedication once all the improvements have been installed and accepted by the City of Victorville prior to the recordation of any parcel or final map dividing land contained within the The Crossings Specific Plan.

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**L. HOMEOWNER’S ASSOCIATIONS FOR OPEN SPACE MAINTENANCE**

Homebuilders are responsible for the creation of additional Homeowner’s Associations for the maintenance of open space within the individual residential subdivisions. No LMADs shall be permitted for the front yards of any residential property.

**M. HOMEOWNER’S ASSOCIATIONS FOR COURT STREETS**

The court streets within the Residential Small Lot areas of The Crossings Master Plan are considered private streets and will be maintained by Homeowner’s Associations.

**N. SITES AND FACILITIES FOR CITY OF VICTORVILLE FIRE AND PUBLIC WORKS DEPARTMENTS**

Prior to the approval of the first tentative tract map, the Master Developer shall enter into an agreement with the City to provide 2.5 acres of land and assist in the funding of a Fire Station/Public Works Yard within or near the Specific Plan at a location approved by the City.

**O. SPECIFIC PLAN NAME**

The Crossings Specific Plan refers to the document and support information only. The community name shall be selected by the Applicant at a future date and shall not require City approval.

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## SECTION VII – APPENDIX

### A. Design Guidelines



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## B. Legal Description

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# *The Crossings*

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## DESIGN GUIDELINES

**Last Revised on  
February 6, 2007  
SPA-04-2002**

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**THE CROSSINGS, NGA #2, LLC**

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# THE CROSSINGS

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## DESIGN GUIDELINES

February 6, 2007

PREPARED FOR:

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**THE CROSSINGS, NGA #2, LLC**  
3455 Cliff Shadows Parkway, Suite 220  
LAS VEGAS, NV 89129

PREPARED BY:

---

ARCHITECTURE / PLANNING

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Irvine, CA 92614

LANDSCAPE ARCHITECTURE

**GREEY PICKETT**  
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**TEILMAN/WAY DESIGN, INC.**  
48 SANTA BARBARA DR.  
SANTA FE, NM 87505

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# *The Crossings*

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## **The Crossings**



# INTRODUCTION

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## 1.1 PURPOSE AND INTENT

The purpose of the Design Guidelines is to establish the procedures and evaluation criteria for proposed builder neighborhoods within The Crossings, a master planned community in the western portion of Victorville. The guidelines described herein establish general concepts and provide the direction for the expression of the community character envisioned for The Crossings. They are intended to provide an overall framework for future development, in order to achieve a sense of community identity, character, scale and sensitivity in the development of The Crossings.

Equally important, an extraordinary amount of time, resources, and capital will be expended for the development of infrastructure, landscaping and other site improvements, which are integral to the creation of a strong sense of identity for The Crossings. The Design Guidelines are intended to provide a vehicle to protect and maintain the long-term quality and value of the community. Accordingly, the Design Guidelines apply to all construction within The Crossings, including but not limited to residential product, including new construction, remodels and additions, landscape, signage, and neighborhood amenities.

The sketches and graphic representations contained herein are for conceptual purposes only, and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the guidelines express "intent" rather than "absolute", thereby allowing certain flexibility in fulfilling the intended design goals and objectives. The authority for determining whether a proposed design or feature of a design shall be acceptable rests with the Master Developer and/or the various review committees it designates.

## 1.2 SUPPORTING DOCUMENTS

The Design Guidelines supplement the following documents, which must also be consulted during the design and development of individual parcels within The Crossings:

- Master Declaration of Covenants, Conditions & Restrictions for The Crossings (Declaration or CC&R's)
- The Declaration on any Neighborhood Association, which governs the Lot or Property in question.
- The Crossings Master Development Plan

The design criteria are subject to interpretation by the Master Developer. The Master Developer may amend or augment the Design Guidelines to meet specific site or functional requirements of property within the community, consistent with the basic objectives of the Master Developer and the Zoning Ordinance.

### **1.3 RESPONSIBILITY OF REVIEW**

Neither the Master Developer nor Design Review Committee (DRC) assumes responsibility for plan review of local codes or ordinances. The Master Developer's purpose in plan review is to ensure that each project meets the intent of the Design Guidelines and Declarations. All projects within The Crossings require review and approval by the Master Developer prior to submittal to the City of Victorville or other any applicable public agencies.

### **1.4 PROJECT LOCATION**

The Crossings, encompassing approximately 449 acres, is located in the western portion of Victorville, generally bounded by La Mesa on the south, Bellflower on the east, Monte Vista on the west, and Palmdale Road on the north. Please refer to Exhibit 1, Location Map.\*

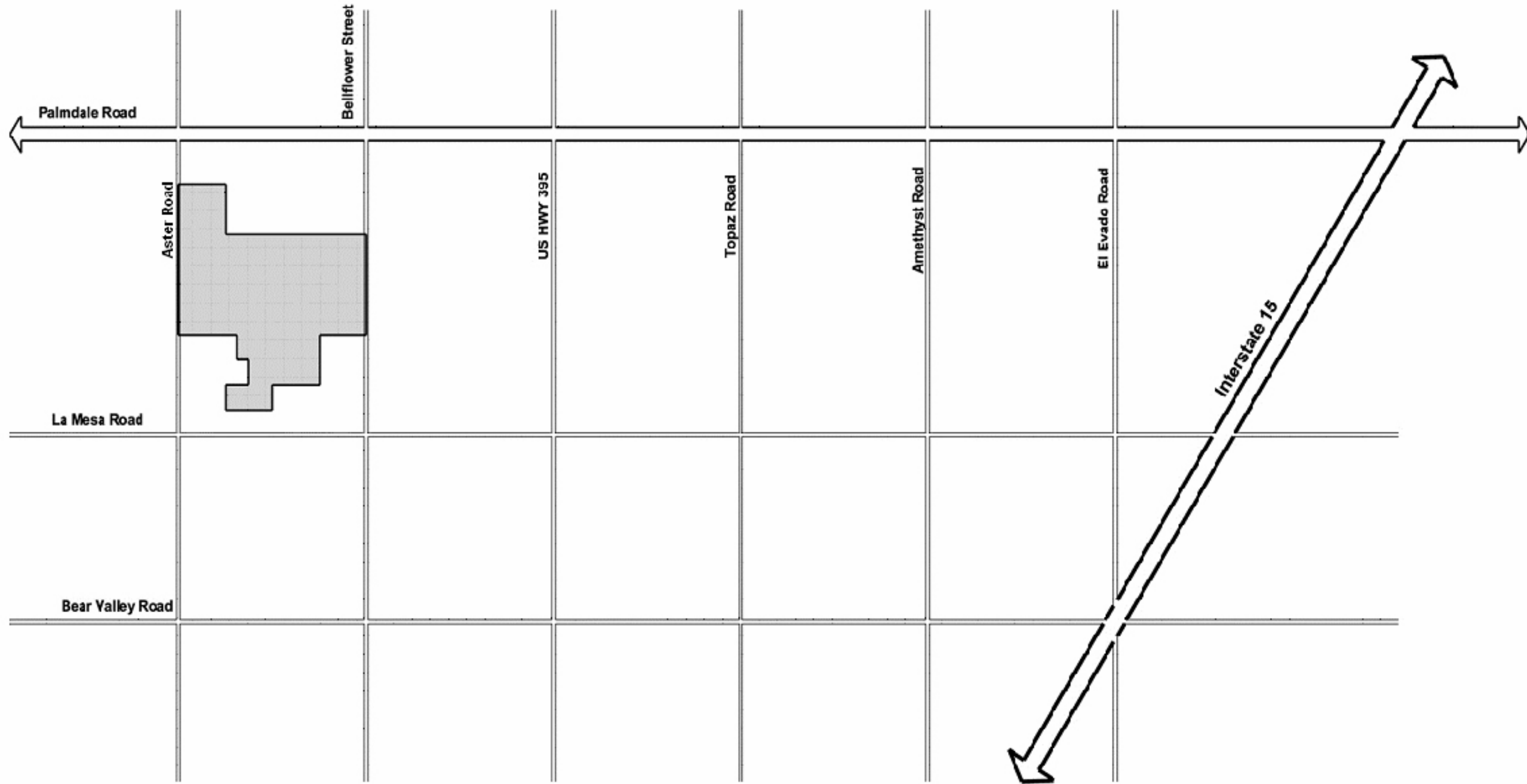
\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

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## **The Crossings**

Design Guidelines  
February 6, 2007

# VICTORVILLE



\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

## THE CROSSINGS

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Exhibit 1  
LOCATION MAP

# COMMUNITY THEME

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## 2.1 COMMUNITY THEME

The Crossings is envisioned as a perfect setting for a quintessential all-American small town lifestyle. The community will be an inviting and comfortable place without being pretentious, with traditional architectural styles inspired from those of the American West, as well as those influenced by our roots in distant European lands. A blending of deciduous and evergreen trees in an informal landscape will lend an additional soft edge to The Crossings community theme.

The Crossings will have the texture of a small town, promoting a friendly family lifestyle, where from its appearance; you might expect to attend a Country Fair or a father/son softball game. Experience the relaxed atmosphere and lifestyle of The Crossings, where a little of the “good old days” is alive and well. This traditional small town character will be achieved in a variety of subtle, yet meaningful ways, such as:

- Street layouts that reinforce traditional development patterns and provide connectivity among neighborhoods and surrounding areas.
- Landscape parkways with curb separated sidewalks, where feasible, to encourage pedestrian activity and enhance pedestrian safety.
- Formal street tree patterns within residential areas to reinforce the traditional character of the neighborhoods.
- Homes that feature front porches or other human-scaled elements to encourage friendly interaction between residents and passersby.
- Varying setbacks to porches, living spaces and garages.
- De-emphasis of garages on the streetscene.
- Variety of architectural styles, including but not limited to Craftsman, Prairie Ranch, Spanish Colonial, Country European, Monterey, Southern Italian, and Tuscany, reminiscent of a small town atmosphere where neighborhoods evolve over a period of time.

Please refer to Exhibit 2 for an illustration of the proposed overall concept plan for the community.

## **2.2 COMMUNITY ENTRIES**

The entries into The Crossings master plan will be designed as an important community identity element that establishes a strong sense of arrival to the community, and introduces the overall theme for the project. It will feature a thematic blend of textured walls, monumentation, landscaping and other site elements that create a unique and memorable entry experience for residents and visitors alike. Please refer to Exhibit 3 for a depiction of the overall community entry concept.

## **2.3 PARK**

The Crossings features an interconnected trail system that links residential neighborhoods to a centrally located park and elementary school site. The school and park are envisioned to become the focus of community life within The Crossings, where children play, soccer parents gather, and families come together for weekend bar-be-ques. All in all, the park is a significant component of the master plan, both visually and functionally, for residents and visitors alike of The Crossings to enjoy. Please refer to Exhibits 6 and 7 for conceptual illustrations of features within the village park.

## **2.4 ARCHITECTURAL THEME**

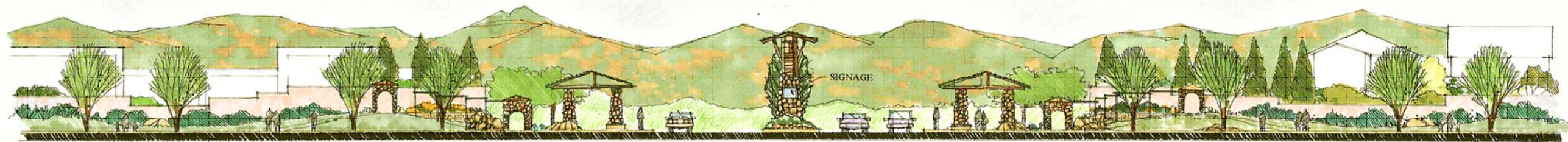
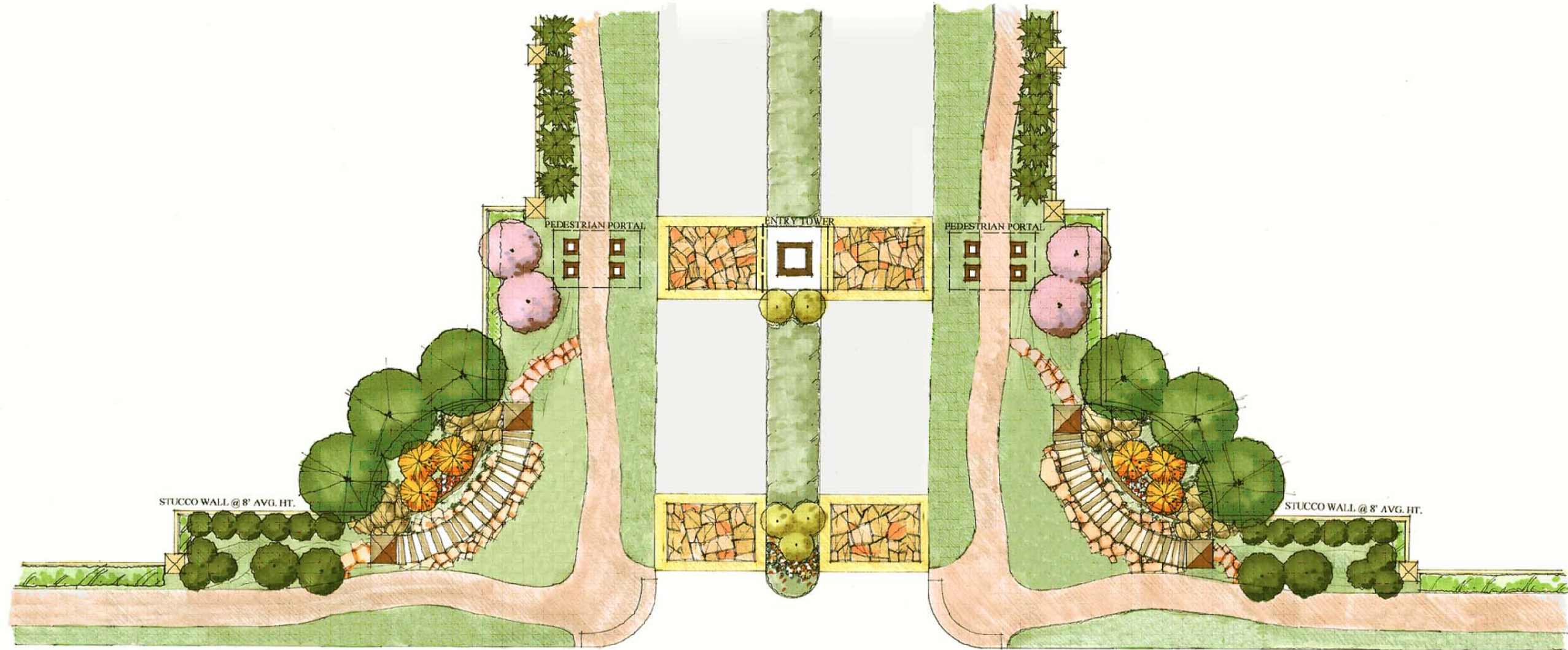
The architecture within the residential neighborhoods shall be designed to reinforce the overall community character envisioned for The Crossings. A range of architectural styles has been established for the residential neighborhoods that will provide a distinct look that reinforces the overall sense of place for the community. The architectural styles, representative of traditional architecture common to small towns of the American southwest, have been chosen for their compatible yet subtle nuances, including but not limited to Craftsman, Prairie Ranch, Spanish Colonial, Country European, Monterey, Southern Italian and Tuscany. The architectural guidelines are detailed in Section 4.

## **2.5 LANDSCAPE THEME**

The landscape concept for The Crossings reinforces the overall community theme through an informal planting palette and design, along with the use of more rustic materials for elements such as walls and fencing. Landscape plans will include provisions for drought-tolerant plants and water conservation.



\*Revisions approved by City Council on February 6, 2007 SPA-04-002



\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

**The Crossings**

Design Guidelines  
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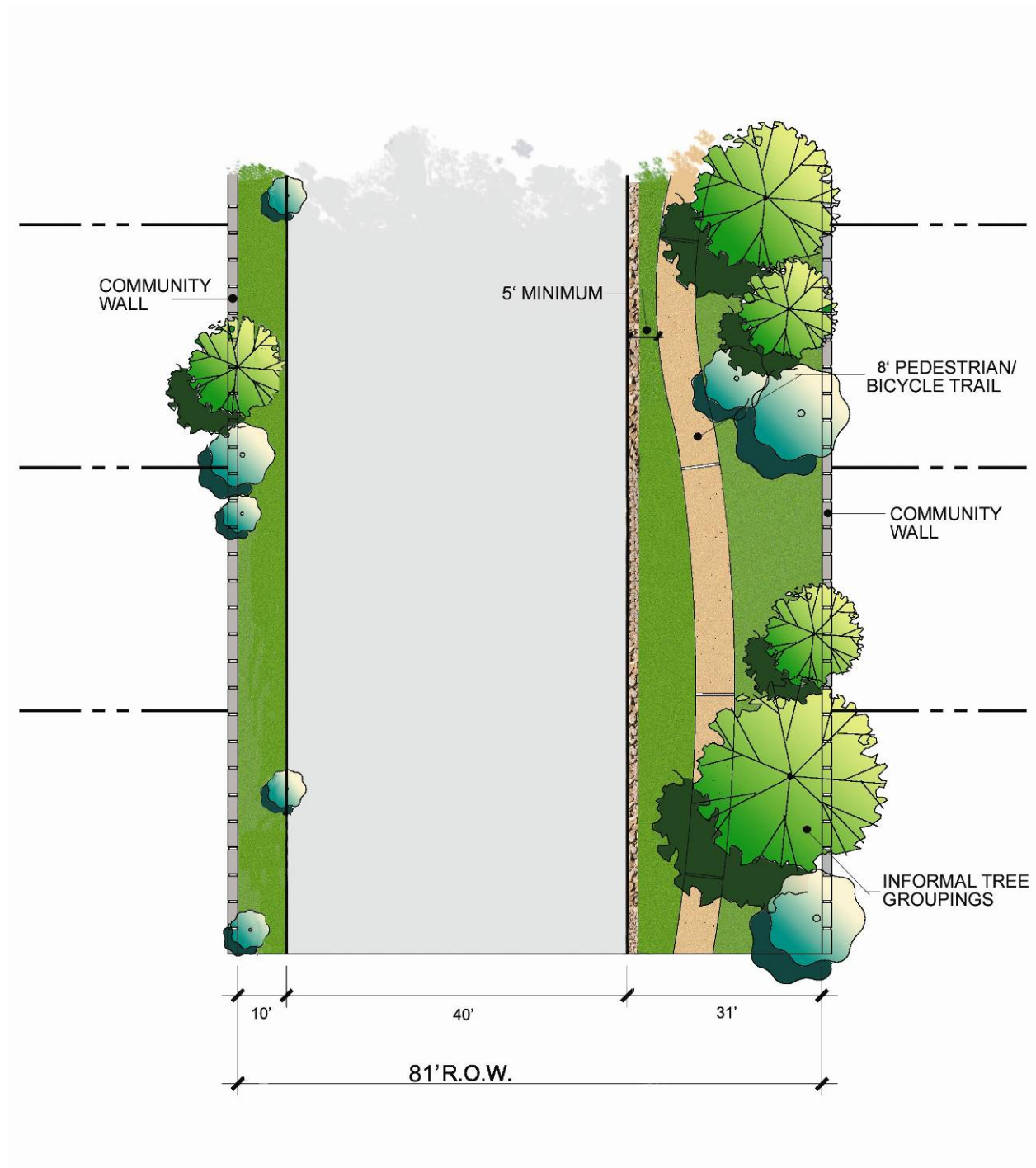


**The Crossings**

Design Guidelines  
February 6, 2007

*Exhibit 4*  
**STREETScape PERSPECTIVE**





**The Crossings**





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## SECTION 3

# SITE PLANNING GUIDELINES

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### 3.1 SUBDIVISION DESIGN CONCEPTS

#### 3.1.1 PARCEL ENTRIES

The arrival experience into each neighborhood shall reinforce the overall community theme of The Crossings. Architectural and landscape elements found throughout the community, including thematic garden structures and soft groves of trees, shall be incorporated into the neighborhood entry experience. This will provide a seamless transition between the overall community and individual neighborhoods.

The Master Developer has identified the location of at least one parcel entry into each parcel. It is the responsibility of the builder to design a subdivision plan that incorporates this point of access. Additional points of access that do not impede the overall efficiency of master planned roadways may be possible, but require specific approval from the Master Developer and/or the City of Victorville. In some cases, the builder may be required to coordinate parcel entries or interconnections with an adjacent parcel.

#### 3.1.2 STREET LAYOUT

A preliminary concept site plan must be approved by DRC prior to preparation of tentative maps, to ensure compliance with the design intent of the site planning guidelines, including street layout.

The design of neighborhood streets should provide the opportunity to create a diverse and interesting street scene. The following guidelines apply:

- Site Plans should be designed to avoid long straight street segments. Gently curving streets that provide visual interest to the street scene are preferred.
- Streets should be used to form blocks at a reasonable scale so as to avoid long unbroken rows of houses.
- Large curve radii are preferred over short abrupt offsets in roadway segments.
- The layout of neighborhood streets should discourage excessive speed and through traffic, enhancing pedestrian safety.
- Streets that are generally oriented in an east / west direction are preferred, providing a desirable north/south solar orientation for residences.
- No single family residential lot shall be accessed from a public or private street having a cross section of less than 24'.

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## The Crossings

On parcels that are adjacent to perimeter landscaped areas with pedestrian pathways, one of the following pedestrian access concepts must be provided along each parcel edge having such frontage:

- A minimum of one pedestrian way for every 1,000 feet of frontage,  
OR
- A minimum of one view cul-de-sac for every 2,000 feet of frontage.  
OR
- A minimum of 1 view court street for every 2,000 feet of frontage. (For Small Lot Residential Subdivisions only)\*

Please refer to Exhibit 8 for a depiction of each concept.

### **3.1.3 COMMON OPEN SPACE**

Multi-Family Residential neighborhoods require the provision of common open space as described in the Development Standards criteria, Section 3.2.1. The common open space shall be oriented in such a manner that it is visible from the parcel entry to the extent feasible.

Small Lot Residential (Attached) neighborhoods require the provision of common open space as described in the Development Standards criteria, Section 3.2.2. The common open space shall be oriented in such a manner that it is visible from the parcel entry to the extent feasible.

Small Lot Residential (Mini-Lot Cluster) neighborhoods require the provision of common open space as described in the Development Standards criteria, Section 3.2.3. The common open space may be provided in the form of a small neighborhood park, landscape strips at key locations, or other areas as long as it is a visible element from a street.

Small Lot Residential neighborhoods require the provision of common open space as described in the Development Standards criteria, Section 3.2.4. The common open space may be provided in the form of a small neighborhood park, landscape strips at key locations, or other areas as long as it is a visible element from a street.

Small Lot Residential (Mini-Lot conventional) neighborhoods require the provision of common open space as described in the Development Standards criteria, Section 3.2.5. The common open space may be provided in the form of a small neighborhood park, landscape strips at key locations, or other areas as long as it is a visible element from a street.

Medium Residential neighborhoods must provide designated open space in the amount of 25 square feet per unit per Section 3.2.6. Such open space may be provided in the form of a small neighborhood park, landscape strips at key locations, or other areas as long as it is a visible element from a street.

Low Density Residential neighborhoods are not required to have designated open space.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## **The Crossings**

**PEDESTRIAN CONNECTIONS**

On parcels adjacent to a perimeter landscape area with pedestrian pathways, one of the following pedestrian access concepts must be provided along each parcel edge having such frontage:

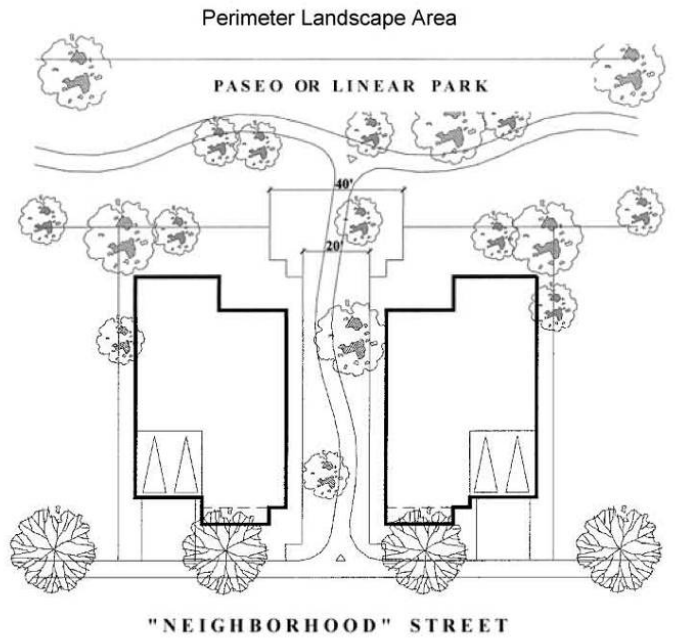
A. At least 1 Pedestrian Way for every 1000 feet of frontage

**OR**

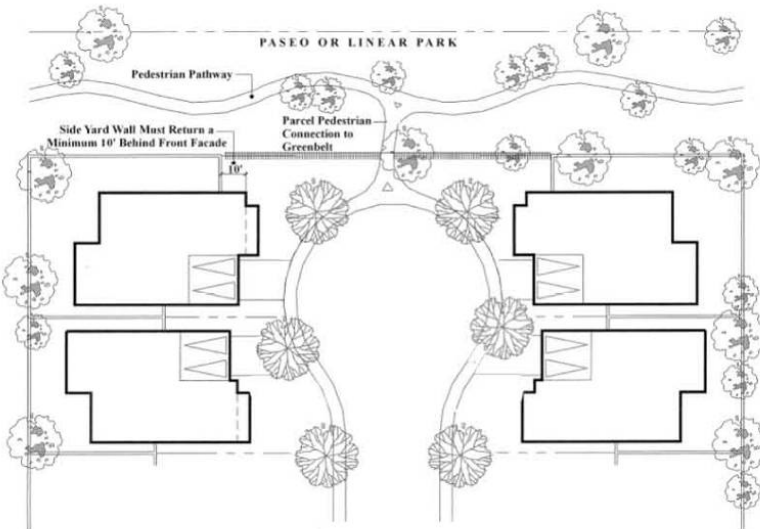
B. At least 1 View Cul-De-Sac for every 2000 feet of frontage

**OR**

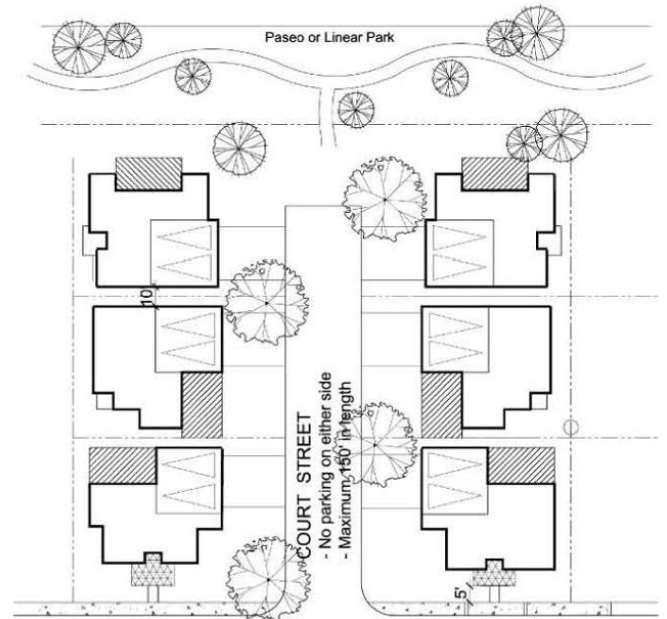
C. At least one view court street for every 2,000 feet of frontage



**A. PEDESTRIAN WAY**



**B. VIEW CUL-DE-SAC**



**C. COURT STREET**

(For Small Lot Residential Only)\*

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## 3.2 DEVELOPMENT STANDARDS AND SETBACK CRITERIA

### 3.2.1 MULTI-FAMILY RESIDENTIAL UP TO 18 DU/AC

The following development standards replace the City of Victorville Zoning ordinance for development of Multi-Family Residential neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.

Criteria	UP TO 18 DU/AC
All setbacks are measured from property line unless otherwise noted	
<b>MINIMUM SETBACKS</b>	
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES FROM ADJACENT PARCEL PL	
<ul style="list-style-type: none"> <li>• Single Story Element</li> <li>• Two Story Element and/or Two and one half story element</li> </ul>	10' 20'
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES ADJACENT TO STREET R.O.W. AT PARCEL PERIMETER	
<ul style="list-style-type: none"> <li>• Single Story Element</li> <li>• Two Story Element and/or Two and one half story element</li> </ul>	10' 20'
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES ADJACENT TO PARK, OPEN SPACE, LANDSCAPE AREAS ADJACENT TO PERIMETER STREETS.	
<ul style="list-style-type: none"> <li>• Single Story Element</li> <li>• Two Story Element and/or two and one half story element</li> </ul>	10' 10'
LIVING AREA OR PORCH FROM PRIVATE STREET OR PARKING	10' from back of sidewalk or curb if there is no sidewalk.
GARAGE FACE SETBACK FROM PRIVATE STREET	18'+ from back of sidewalk or curb if there is no sidewalk
<b>BUILDING LOT COVERAGE</b>	65% maximum*
<b>BUILDING SEPARATION</b>	
BALCONY TO BALCONY	30'

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## The Crossings

<b>Criteria</b>	<b>Up To 18 DU/Ac</b>
BALCONY TO NON-BALCONY	20'
NON-BALCONY TO NON-BALCONY	15'
BETWEEN MAIN BLDG. & ACC. STRUCTURE	10'
<b>MAXIMUM BUILDING HEIGHT</b>	
PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES	35' Subject to setback criteria above
<b>MINIMUM OPEN SPACE</b>	
COMMON OPEN SPACE	100 Sq. Ft. / Unit
<b>PARKING</b>	
<b>MINIMUM NO. OF SPACES REQ'D.</b>	
Studio or 1 bedroom units	1.5 / Unit - covered
Two bedroom units	2 / Unit - covered
Units with more than 2 bedrooms	2.5 / Unit - covered
Senior housing	1 covered or Enclosed space / Unit
Visitor/on-street parking*	0.2 / Unit

1. See Footnotes listed in Section 3.2.7.

\*Revisions approved by City Council  
on February 6, 2007 SPA-04-002

## **The Crossings**

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### 3.2.2 SMALL LOT RESIDENTIAL (ATTACHED) – UP TO 11 DU/AC

The following development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Attached) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.

Criteria	Up To 11 DU/AC
<b>MINIMUM SETBACKS</b>	
(All setbacks measured from property line unless otherwise noted.)	
<b>FRONT</b>	
• Single Story Element	8' to living; 5' to porch
• Two Story Element	8' for up to a maximum of 60% of the width of the elevation, otherwise 10'
FRONT ENTRY GARAGE	18'+
TURN-IN GARAGE	10'
<b>SIDE</b>	
• Interior Lots	5'
• Perimeter Lots (Siding to any community level roadway or open space)	5' for single story element with no gable end, or 10' for two story element or single story element with a gable end
<b>CORNER SIDE</b>	
• Single Story Element	10'
• Two-Story Element	10'
<b>REAR</b>	
• Interior Lots	10', except that 5' allowed for Up to 50% of the width of the elevation
• Perimeter Lots (Backing to any community level roadway or open space)	10', except that no more than two adjacent buildings may have the same rear setback; otherwise an additional offset of at least 5' is required
REAR PATIO COVERS	10'
<b>MAXIMUM BUILDING HEIGHT</b>	
MAIN STRUCTURE	35' ( 2 ½ -Stories Max.)
BUILDING LOT COVERAGE	65% maximum*
<b>MINIMUM OPEN SPACE</b>	
COMMON OPEN SPACE	10,000 Sq. Ft. minimum + 50 Sq. Ft per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'
PRIVATE OPEN SPACE	150 Sq. Ft./ Unit with a 10' minimum dimension
<b>PARKING</b>	
MINIMUM NO. OF SPACES REQ'D.	
• Resident Parking	2 Spaces / Unit - covered
• Visitor Parking	0.2 Spaces / Unit

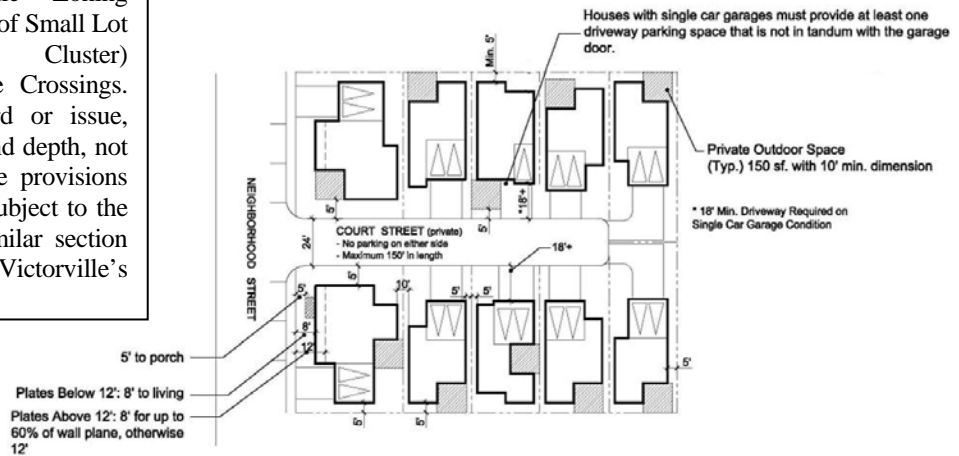
1. See Footnotes listed in Section 3.2.7.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## The Crossings

**3.2.3 SMALL LOT RESIDENTIAL (MINI-LOT CLUSTER) UP TO 11 DU/AC**

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Cluster) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.



**MINIMUM DEVELOPMENT STANDARDS (CLUSTER HOUSING) <sup>1 & 3</sup>**

<b>Building Setback</b> (All setbacks measured from property line unless otherwise noted).*		
• Neighborhood Street	Plates Below 12'	8' Setback to living; 5' to porch
	Plates Above 12':	8' Setback for up to 60% of the wall plane; otherwise 12'.
• Court Street	5' to Living Area, Porch, Courtyard/Patio Gate	
• Side Property Line	Within Cluster	5'
	Perimeter of Cluster	5'
• Rear Property Line	5'	
• Parcel Property Line	10'	
<b>Garage Face Setback</b>		
• From Neighborhood Street	1 or 2 car garages	18'+
• From Court Street	1-car garages	18'+
	2-car garages	18'+
Patio Cover Setback	5'	
Rear 2nd Story Balcony Setback	7'	
Building Height	35' (2 ½ -Stories Max.)	
Building Lot Coverage	65% maximum*	
Private Yard Space <sup>2</sup>	150 Sq. Ft. with 10' Minimum Dimension (May be located in front, side or rear of residence)	
Common Open Space	10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'	
Court Street Width	24' Minimum (Maximum 150' in length with no parking on either side. Red painted curbs)	
Parking	Resident	2 Spaces / Unit - covered
	Visitor	0.2 Spaces / Unit

1. Maximum of ten units per cluster, of which only 8 units may have a driveway on the court street.
2. Private yard space may be in front, side, rear or interior to dwelling unit, provided such space is at least 75% open to the sky.
3. See additional Footnotes listed in Section 3.2.7.

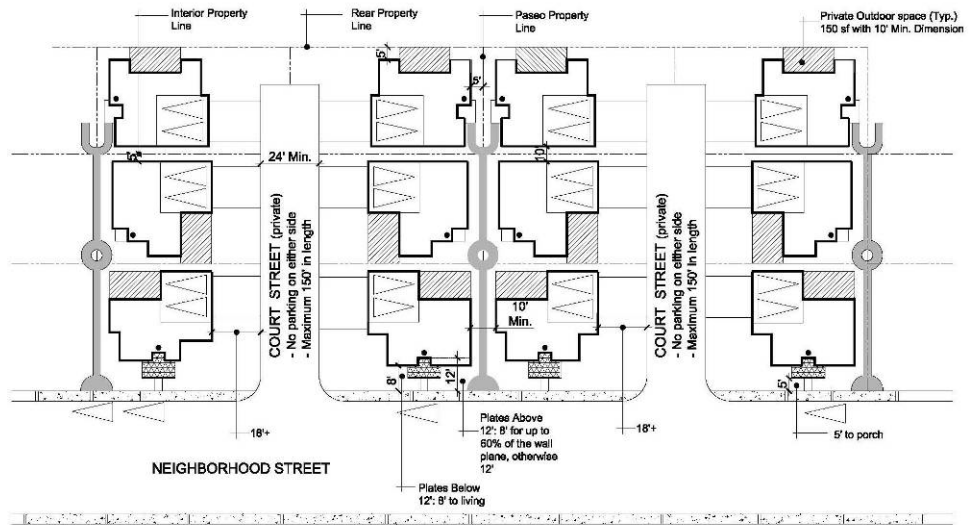
Note: Diagram is conceptual only. Final building footprints and layout will vary.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

**The Crossings**

3.2.4 SMALL LOT RESIDENTIAL UP TO 11 DU/AC

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Cluster) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville’s Municipal code.



MINIMUM DEVELOPMENT STANDARDS<sup>1 & 3</sup>

Building Setbacks:

(All setbacks measured from property line unless otherwise noted.)\*

- From Neighborhood Street
  - Plates below 12' 8' setback to living; 5' to porch
  - Plates above 12' 8' setback for up to 60% of the wall plane; otherwise 12'
- From Court Street
  - 5' min. to living area, porch, courtyard/patio gate
  - 18'+ to garage face
- From Property Line
  - 5'
- From Interior Property Line
  - 5'
- From Rear Property Line
  - 5'
- From Paseo Property Line
  - 5'
- Building Height
  - 35' (2 ½ -Stories Max.)
- Building Lot Coverage
  - 65% maximum\*
- Building Separation
  - 10'
- Private Outdoor Space<sup>2</sup>
  - 150 Sq. Ft with 10' minimum dimension
  - (May be located in front, side or rear of residence)
- Drive Aisle Width
  - 24' Minimum (Maximum 150' in length with no parking on either side. Red painted curbs)
- Parking
  - Resident 2 Spaces / Unit - covered
  - Visitor 0.2 Spaces / Unit
- Common Open Space
  - 10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'

1. Maximum of eight units per cluster.
2. On interior lots, Private yard space may be in front, side, rear or interior to dwelling unit, provided such space is at least 75% open to the sky. On perimeter lots, private yard space must be adjacent to the parcel boundary to provide articulation to the building mass on perimeter conditions.
3. See additional Footnotes listed in Section 3.2.7.

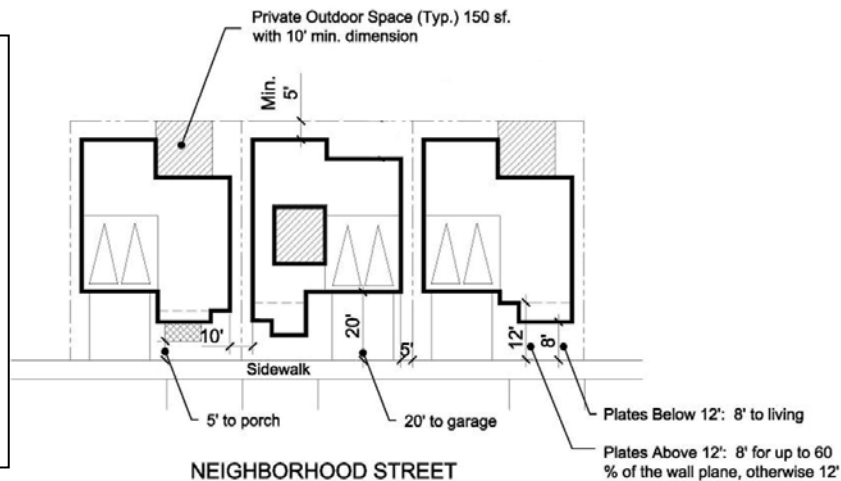
Note: Diagram is conceptual only. Final building footprints and layout will vary.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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### 3.2.5 SMALL LOT RESIDENTIAL (MINI-LOT CONVENTIONAL) UP TO 11 DU/AC

These development standards replace the City of Victorville Zoning ordinance for development of Small Lot Residential (Mini-Lot Conventional) neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.



#### MINIMUM DEVELOPMENT STANDARDS (CONVENTIONAL MINI-LOTS)<sup>2</sup>

Building Setback (All setbacks measured from property line unless otherwise noted.)\*

• Neighborhood Street	Plates Below 12'	8' Setback to living; 5' to porch
	Plates Above 12':	8' Setback for up to 60% of the wall plane; otherwise 12'
• Interior Property Line		
• Side	5'	
• Rear	5'	
• Parcel Property Line	10'	
Garage Face Setback	20'	
Patio Cover Setback	5'	
2nd Story Balcony Setback		
• Front	8'	
• Rear	7'	
• Side	Not allowed except when adjacent to master plan roadways or community open space.	
Building Height	35' (2 ½ -Stories-Max.)	
Lot Coverage	65% maximum*	
Building Separation	10'	
Private Outdoor Space <sup>1</sup>	150 Sq. Ft. with 10' Minimum Dimension (May be located in front, side or rear of residence)	
Common Open Space	10,000 Sq. Ft. minimum + 50 Sq. Ft. per unit for each unit in excess of 100 within the subdivision. Common usable space must have a minimum dimension of 20' x 20'	
Parking	Resident	2 Spaces / Unit - covered
	Visitor	0.2 Spaces / Unit

- On interior lots, Private Yard space may be in front, side, rear or interior of unit, provided such space is at least 75% open to the sky. On perimeter lots, private yard space must be adjacent to the parcel boundary to provide articulation to the building mass on perimeter conditions.
- See additional Footnotes listed in Section 3.2.7.

Note: Diagram is conceptual only. Final building footprints and layout will vary.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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### 3.2.6 MEDIUM AND LOW RESIDENTIAL

The following development standards replace the City of Victorville Zoning Ordinance for development of Medium and Low Residential neighborhoods within The Crossings. Any development standard or issue, excepting lot size, width and depth, not specifically covered by the provisions contained below shall be subject to the provisions of the most similar section within the City of Victorville's Municipal code.

Criteria	MEDIUM RESIDENTIAL (UP TO 7 DU/AC)	LOW RESIDENTIAL (UP TO 5 DU/AC)
<b>MINIMUM SETBACKS<sup>1</sup></b>		
(All setbacks measured from property line unless otherwise noted.)*		
<b>FRONT - LIVING AREA OR PORCH</b>		
• Single Story Element	10'	10'
• Two Story Element	10' for up to 60% of the wall plane; otherwise 15'	15'
<b>FRONT ENTRY GARAGE</b>		
	20'	20'
<b>TURN-IN GARAGE</b>		
	10'	10'
<b>SIDE</b>		
• Interior Lots	5'	5'
• Perimeter Lots & Parcel Entry (Siding to any community level roadway or open space)	5' for single story element with no gable end, or 10' for two story element or single story element with a gable end	5' for single story element with no gable end, or 10' for two story element or Single story element with a gable end
<b>CORNER SIDE</b>		
• Single Story Element	10'	10'
• Two-Story Element	10'	15'
<b>REAR</b>		
• Interior Lots	15' except that 10' allowed for up to 50% of the product width	20' except that a setback of 15' is allowed for up to 50% of the product width
• Perimeter Lots (Backing to any community level roadway or open space)	Same as Interior Lots, except that no more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 5' is required	Same as Interior Lots, except that no more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 5' is required
<b>REAR PATIO COVERS</b>		
	10'	10'
<b>ACCESSORY STRUCTURES</b>		
• Maximum 14' Bldg. Ht.	Front: 10' <sup>(4)</sup> * Side : 5' Rear: 5'	Front: 10' Side : 5' Rear: 5'

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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Criteria	MEDIUM RESIDENTIAL (UP TO 7 DU/AC)	LOW RESIDENTIAL (UP TO 5 DU/AC)
<ul style="list-style-type: none"> <li>Greater Than 14' Bldg. Ht.</li> </ul>	Front: 15' <sup>(4)</sup> * Side: 5' Rear: <ul style="list-style-type: none"> <li>5' if no window openings facing rear PL</li> <li>10' if window openings face rear PL</li> </ul>	Front: 15' <sup>(4)</sup> * Side: 5' Rear: <ul style="list-style-type: none"> <li>5' if no window openings facing rear PL</li> <li>20' if window openings face rear PL, except that a setback of 15' is allowed for up to 50% of the width of the main structure</li> </ul>
<ul style="list-style-type: none"> <li>Minimum Separation from Main Building</li> </ul>	10'	10'

### COURTYARD WALLS

<ul style="list-style-type: none"> <li>Less than 32" in height</li> </ul>	Front: 5' Interior Side: 0' Corner Side: 0'	Front: 5' Interior Side: 0' Corner Side: 0'
<ul style="list-style-type: none"> <li>Greater than 32" in height (Including corner side yard privacy wall or fence)</li> </ul>	Front: 10' Interior Side: 0' Corner Side: 5'	Front: 10' Interior Side: 0' Corner Side: 5'

### MAXIMUM BUILDING HEIGHT

MAIN STRUCTURE	35'	35'
ACCESSORY STRUCTURE		
<ul style="list-style-type: none"> <li>Single Story Structures</li> <li>Two Story Structures</li> </ul>	14' 35'	14' 35'
LOT COVERAGE	Single Story – 65% Max. Two Story – 55% Max.	Single Story – 60% Max. * Two Story – 55% Max.

### COMMON OPEN SPACE

Minimum Amount Required	25 SF / Unit	Common Open Space is not required
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### PARKING

<ul style="list-style-type: none"> <li>RESIDENT – COVERED*</li> <li>VISITOR</li> </ul>	2 SPACES / UNIT 0.2 SPACE / UNIT	2 SPACE / UNIT 0.2 SPACES / UNIT
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### DESIGN VARIATION

<ul style="list-style-type: none"> <li>10-119 Homes</li> </ul>	3 Plans 3 Elevations per plan	3 Plans 3 Elevations per plan
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\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## The Crossings

Criteria	MEDIUM RESIDENTIAL (UP TO 7 DU/AC)	LOW RESIDENTIAL (UP TO 5 DU/AC)
• 120 Homes or More	4 Plans 3 Elevations per plan	4 Plans 3 Elevations per plan
• Color Schemes	No home on either side or directly across the street from a dwelling shall have the same color scheme.	
• Distribution	No identical plan and elevation are permitted side by side. Opposite hand footprints with different elevations and color schemes are permitted on up to 2 adjacent dwellings.	

1. See additional Footnotes listed in Section 3.2.7.

### 3.2.7 FOOTNOTES

1. All setbacks are measured from property line unless otherwise noted.
2. Architectural projections may project a maximum of 3 feet into the required front, rear or side setback areas, excepting within the required area in front of the garage. However, in no case shall such projection be closer than 5 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as, media niches, bay windows, chimneys, balconies and other similar elements. Such architecture projections may be supported by a foundation.
3. Window and door pop-out surrounds, pot shelves, enhanced window sills, shutter details, window trim, entry gates and projecting eaves shall be governed by the provisions of the Uniform Building Code (UBC), Section 503.2 and Section 705.
4. For parcels up to 7 Du/Ac accessory structures that are provided as detached garages shall have a driveway setback that is 20' for front entry garages or 10' for side entry garages. For parcels between 7.1 Du/Ac to 11 Du/Ac. accessory structures that are provided as detached garages shall have a driveway setback of 18' or greater.
5. On parcels adjacent to a perimeter landscape area with pedestrian pathways, one of the following pedestrian access concepts must be provided along each parcel edge having such frontage (see Exhibit 8 on page 3-3): \*
  - At least 1 Pedestrian Way for every 1000 feet of frontage  
or
  - At least 1 View Cul-De- Sac for every 2000 feet of frontage  
or
  - At least 1 View Court Street for every 2000 feet of frontage (For Small Lot Residential subdivision only)\*
6. The minimum square footage of common open space shall be as indicated in the Development Standard matrix for each land use category. The balance of any cumulative common open space requirement that exceeds 10,000 Sq. Ft. may be distributed throughout the project as the builder desires. Common usable open space must have a minimum dimension of 20' x 20'.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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### 3.3 PRODUCT PLOTTING CRITERIA

The plotting of residences that are adjacent to Master Plan roadways, the park or other community open space, must be submitted to the DRC for review and approval to ensure compliance with the design intent of the site planning guidelines, including product-plotting criteria. The submittal must include plan numbers, elevations, and rear elevation options.

The plotting of residences should be done in a manner that achieves diversity and visual interest to the neighborhood streetscene. Such diversity can be achieved through varying setbacks, articulated building massing, variable lot widths, de-emphasized garages, and enhanced elevations and/or single story elements on corner lots.

#### 3.3.1 PLOTTING

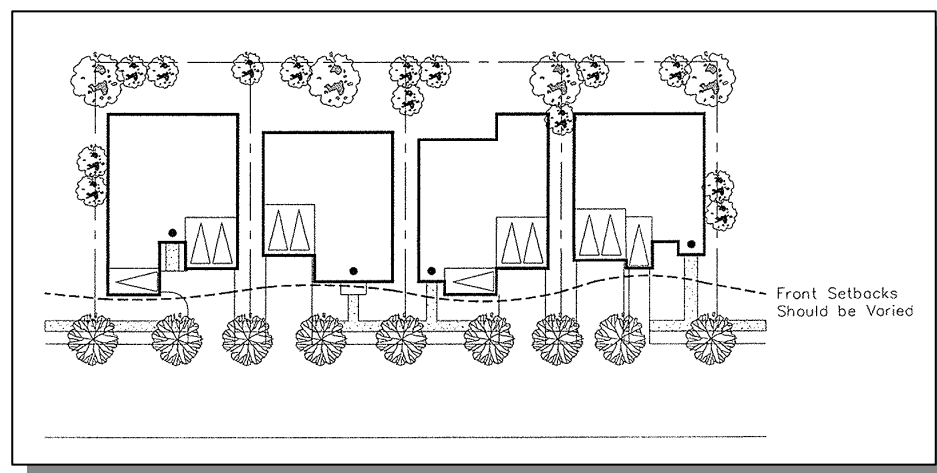
No more than two dwelling units with the same floor plan shall be plotted adjacent to one another, and the floor plans shall be reversed with different elevations and color schemes to avoid a repetitious street scene.

#### ACCESS TO RESIDENTIAL LOT

No driveway access to an individual residence is allowed to occur through a common landscape area. Pedestrian access and front doors are allowed to occur in such common landscape area.

#### 3.3.3 VARYING SETBACKS

The front setbacks in the Design Guidelines matrices are minimum setbacks. Front setbacks should be varied from lot to lot to provide visual interest to the street scene. In Low Density Residential neighborhoods (Up to 5 Du/Ac), no more than three contiguous lots may have the same setback; otherwise an additional offset of at least 3' is required.



### 3.3.4 ARTICULATED BUILDING MASSING

Boxy two-story building forms that overwhelm the street scene are discouraged. Rather, the building mass should be broken down into smaller elements, where feasible, to provide visual interest and articulation to the neighborhood street scene.

### 3.3.5 DE-EMPHASIS OF GARAGES

Residential garages shall be positioned to de-emphasize their visual presence on the street. This will allow the active, visually interesting features of the house, to dominate the streetscape. Garages may be sited in several ways:

- Standard front entry garages
- Pushed back garages
- Side entry garages on corner lots
- Split garages
- Offset garages
- Turn-in garages
- Tandem garages\*

Where garages are adjacent to one another along interior lot lines, the garage door planes shall be offset at least 3 feet or at least 10 degrees.\* The face of garage doors shall be offset a minimum of 12" from surrounding wall planes.

No more than three front facing garage spaces are permitted on an individual residence. Additional garage spaces, if provided, must be in a turn-in configuration, deep-recessed with a long driveway or motor-court, or other configurations in which the garage door is not visible from the front.

Front loaded 3-car garages, where provided, must have a minimum 2' offset between the main and single garage elements

### 3.3.6 CORNER LOTS

Homes plotted on corner lots shall feature enhanced elevations that provide a similar level of detail to corner side elevations as the front elevation. Enhancements may include elements such as:

- One story homes or significant single story elements
- Wrap-around porches or courtyards
- Principal window treatments
- Roof plane breaks
- Accent colors, materials and detailing

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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### 3.3.7 PERIMETER EDGES

(Adjacent to Community Streets or Open Space)

The design and placement of homes on lots located on the perimeter edges of development parcels and visible from master planned streets or open space shall be designed to avoid a monotonous edge condition. Such dwellings shall incorporate the following elements:

- **Single Story Elements.** Single story homes, when part of the builder's product program, are encouraged to be plotted as often as feasible on visible perimeter conditions. When used, such single story dwellings should be plotted in pairs to accentuate their low mass effect on the street scene. On two-story dwellings, single story elements such as balconies or patio covers should be used to provide articulation and visual interest to the rear or side elevation.
- **Varying Rear Setbacks.** No more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 5' is required. The additional setback may be achieved in one of two ways:
  - Wall planes on an individual house that are offset a minimum of 5'
  - Staggered rear setbacks on adjacent homes with a minimum offset of 5'
- **Variation of Roof Planes.** A variety of roof forms are encouraged using gable, cross-gable, hip, and shed elements. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel. Ridgelines of adjacent residences should be in different directions to the extent feasible.
- **Architectural Enhancements.** As further discussed in Section 4.5, the rear or side of elevations visible from perimeter edge conditions shall be sufficiently articulated to provide visual interest, including:

#### Required

- Patio Covers or 2nd Story Decks (Required on 25% of perimeter lots)
- Principal Window Treatments (Required on all perimeter lots)

#### **AND**

Select at least two of the following:

- Offset wall planes (Minimum offset: 2')
- Roof Plane Breaks
- Color Blocking
- Shutters on 2nd story windows when accompanied by corresponding pot shelf with minimum 12" projection.

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- Introduction of accent building materials and colors
- Introduction of accent elements such as clay vents, outlookers, and decorative grille work consistent with the front elevation
- Other similar features that provide articulation to the visible side or rear elevation.

### **3.4 DRIVEWAY CRITERIA**

#### **3.4.1 MINIMUM LENGTH OF DRIVEWAYS**

Minimum driveway lengths are specified in the Development Standards Matrices in Section 3.2.

#### **3.4.2 MINIMUM WIDTH OF DRIVEWAYS**

The minimum width of a driveway at the street for a side-entry garage shall be 16'. The distance from the face of the garage door to the side yard lot line must be a minimum of 28' (24' pavement and 4' landscape).

When side-entry garages are used, the front door to the residence must be offset a minimum of 4' from the garage door plane.

#### **3.4.3 MAXIMUM SLOPE OF DRIVEWAYS**

The maximum slope of residential driveways is 12%.

### **3.5 MODEL HOME COMPLEXES**

#### **3.5.1 PARKING**

Model home parking lots shall be paved in asphalt or concrete. A minimum of 8 spaces shall be provided with at least one handicapped space. All lots shall be landscaped in accordance with Section 5 and shall be screened from adjacent parcels and community open space. Parking may be on surface streets with prior approval by the DRC.

#### **3.5.2 SIGNAGE**

Model home signage shall be in accordance with the approved The Crossings signage program.

#### **3.5.3 FENCING**

All fencing within the model complex shall be compatible with the community wall and fence and design. Chain link or wooden fences are prohibited. Model home fencing is subject to the approval of the DRC.

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## **The Crossings**

### **3.6 STREET LIGHTING**

Please refer to Section 5.10.1 for street lighting requirements.

# ARCHITECTURAL DESIGN GUIDELINES

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## 4.1 INTRODUCTION

The Architectural Design Guidelines for The Crossings are intended to facilitate the creation of diverse and varied streetscapes, reminiscent of an all-American small town lifestyle. Key elements that will be incorporated into the design of residences include architecture providing visual interest to the streetscene, de-emphasis of garages, and authenticity of architectural details.

Moreover, The Crossings will feature a variety of architectural styles such as, but not limited to, Craftsman, Prairie Ranch, Spanish Colonial, Country European, Monterey, Southern Italian, and Tuscan styles focusing on human scale details that will enhance the pedestrian friendly character of the neighborhoods. Detail elements may include the use of front porches, enhanced entries, a mix of materials and textures, and authentic detailing on features such as columns, balconies, windows, doors, shutters, flower boxes, and lighting. Furthermore, a variety of garage designs will be utilized in order to de-emphasize the visual impact of garage doors on the street scene. Such techniques may include varying garage setbacks, turn in garages, side garages on corner lots, split garages, or other similar devices that de-emphasize the view of garage doors from the street. Together, such design features enliven the street scene and promote the friendly interaction of neighbors.

In order to ensure diversity to the streetscene, each single family neighborhood that is 8 DU/AC or less, must feature at least two architectural styles. Single family neighborhoods that are over 8 DU/AC and have less than 150 units, as well as multi-family projects may be designed with one architectural style for a cohesive neighborhood thematic design concept.

Sections 4.2 through 4.5 contain the architectural requirements for all single family residences within the community, while Section 4.6 through 4.10 contain the architectural requirements for all multi-family buildings.

## 4.2 SINGLE FAMILY DETACHED

The architecture of a house is comprised of three basic components regardless of its architectural style. These architectural components consist of Building Facades, Roofs, and Detail Elements. Together, when these components are designed appropriately, a cohesive yet diverse residential neighborhood environment will be realized, consistent with the goals and objectives of The Crossings master plan.

### ARCHITECTURAL COMPONENTS

- BUILDING FACADES
- ROOFS
- DETAIL ELEMENTS

# ARCHITECTURAL CHARACTER

A variety of architectural styles is contemplated within The Crossings, including but not limited to Southern Italian, Country European, Tuscany, Monterey, Spanish Colonial, Prairie Ranch, and Craftsman.

Southern Italian



Country European



Tuscany



Monterey



Spanish Colonial



Prairie Ranch



Craftsman



## 4.3 BUILDING FACADES

### 4.3.1 BUILDING FORM

- Varieties in building forms provide diversity and visual interest to the neighborhood street scene. The following shall be incorporated into the design of residential structures:
  - Articulation of wall planes
  - Projections and recesses to provide shadow and depth
  - Simple bold forms
  - Combinations of one and two story forms.
- Building wall planes, particularly on the front elevation, shall be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony.
- Residential design shall provide articulation and detail to the rear and side of the dwelling when visible from public spaces within the community. Pre-plotting of units along such edges is required and subject to DRC review and approval to ensure compliance with the intent of the design guidelines.
- The use of second story balconies along the front elevation is encouraged to provide visual interest to the street scene.

### 4.3.2 BUILDING MATERIALS AND COLORS

- The design of residences shall use building materials that are consistent with the architectural styles as identified on the architectural checklist for each style.
- Stucco surfaces shall be as follows:
  - **Single Family Detached Lots**

Primary Wall Surfaces:	Light lace or smoother
Trim, stucco eaves, banding, etc.:	Sand or smooth finish
  - **Multi-family**

Primary Wall Surfaces:	Stucco with dash or sand finish
Trim, stucco eaves, banding, etc:	Sand or smooth finish
- All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.
- Material changes shall occur at inside corners. Materials applied to any elevation shall turn the outside corner of the building a minimum of 3' before terminating.

## The Crossings



- Refer to Section 7 for Color criteria.

## **4.4 ROOFS**

### **4.4.1 ROOF FORM AND SLOPE**

- Roof treatments shall be consistent with the architectural style of the dwelling.
- Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout The Crossings, including the use of gable, cross-gable, hip, or a combination of these roof forms.
- Likewise, variety in rooflines is required to avoid a common roofline along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, roof forms, and direction of gables
- Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel.
- Minimum overhangs shall be as identified on the architectural checklist for each style.
- Roof slopes shall be consistent with the architectural style of the residence as indicated on the architectural checklist for each style.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel and mansard roof forms are prohibited.

### **4.4.2 ROOF MATERIALS**

- A variety of roof materials are encouraged throughout the neighborhoods of The Crossings in order to avoid a monotonous roofscape appearance. Roof materials may include barrel shaped clay or concrete tiles, flat clay or concrete tiles and shakes, and slate.
- Roof materials shall be compatible with the architectural style of the residence as indicated on the architectural checklist for each style.
- Roof materials shall have a matte finish to minimize glare.
- Standing seam metal roofs are permitted as an architectural accent element, but its use is subject to the sole discretion and approval of the Master Developer.

## **The Crossings**

- Fascias may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.
- Skylights are permitted, but shall be designed as an integral part of the roof. White “bubble” skylights are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof.
- Permitted Materials
  - Clay or Concrete Barrel Tiles
  - Clay or Concrete Flat Tiles
  - Clay or Concrete Shakes
  - Slate
  - Low profile S-tiles on single-family lots on a maximum of 50% of the elevations.
- Prohibited Materials
  - Wood Shake
  - Fiberglass Shingles
  - Simulated Tile including fiberglass or metal
  - Rolled roofing material
  - Low profile S-tiles on Multi-Family
- Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

## 4.5 DETAIL ELEMENTS

### 4.5.1 PERIMETER EDGE CONDITIONS

- On lots adjacent to perimeter streets, open space or other public areas, side and rear elevations that face such areas shall be articulated and treated to provide visual interest to the edge condition. Particular consideration shall be given to the treatment of 2nd stories and roof elements.
- Articulation to visible side and rear elevations along perimeter areas shall be achieved through the use of the following elements:

#### **Required Elements:**

- Patio Covers or 2nd Story Decks (Required on 25% of perimeter lots)
- Principal Window Treatments (Required on all perimeter lots)

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## The Crossings

**AND****Select at least Two Elements Below:**

- Off-set wall planes (Minimum off-set: 2')
- Shutters on 2nd story windows (Shutters must be accompanied by corresponding pot shelf with minimum 12" projection.)
- Roof Plane Breaks
- Color Blocking
- Introduction of accent building materials and colors
- Introduction of accent elements such as clay vents, outlookers, and decorative grille work consistent with the front elevation
- Other similar features that provide articulation to the visible side or rear elevation.

**4.5.2 ENTRIES**

- The entry of a residential dwelling shall be articulated as a focal point of the building's front elevation through the appropriate use of roof elements, columns, porticos, recesses or projections, window or other architectural features.

**4.5.3 COURTYARDS**

- Courtyards provide a transition from the public space of the street to the entrance of the dwelling. Courtyard walls, when provided, shall be finished to match the house and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the residence.

**4.5.4 PORCHES**

- Porches and balconies, when provided, shall be designed as an integral component of the building's architecture.
- Porches shall have railings and be fully covered in one of the following ways:
  - Roof element and tile matching the residence
  - Trellis structure
  - Second floor balcony or overhang
- Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story.

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#### **4.5.5 COLUMNS AND ARCHWAYS**

- The use of columns and archways adds articulation to the character of the residence and is encouraged where appropriate to the architectural style. Columns and archways shall be scaled appropriately to provide a sense of strength and support that is compatible with the architectural style of the dwelling.

#### **4.5.6 TRELLISES AND ARBORS**

- Trellises and arbors, when used, must be designed to maintain their appearance considering the climatic conditions of the valley.

#### **4.5.7 PATIO COVERS AND BALCONIES**

- The use of rear patio covers and second story balconies provide an excellent opportunity for the articulation of rear facades, particularly along visible perimeter conditions and is encouraged. Such elements are required on a minimum of 25% of the dwellings that are visible from perimeter areas.
- Such patio covers and balconies shall be designed as an integral component of the architecture. Columns used in conjunction with the patio covers and balconies should convey a sense of strength and support.

#### **4.5.8 WINDOW OPENINGS**

- At least one principal window is required on front elevations. Principal windows are defined as one of the following:
  - A prominent window recessed a minimum of 12” or having a minimum 12” pop-out surround.
  - A bay window with a minimum 24” projection and detailing appropriate to the architectural style of the residence.
  - A minimum 12” deep pot-shelf with corresponding roof element and corbels.
  - An overhead trellis element projecting a minimum of 12”
  - Decorative iron window grille projecting forward of the wall plane a minimum of 12”
- Rear elevations that are visible from perimeter conditions require the use of at least one principal window as defined above. The use of shutters is an acceptable principal window treatment on visible rear elevations when used in conjunction with a minimum 12” deep pot-shelf or other form of articulation. Side elevations that are visible from perimeter conditions may have a principal window but not required.

- In lieu of principal windows, all windows shall be recessed a minimum of 2” from the surface of the wall plane. The 2” recess for windows may be achieved in one or more of the following ways:
  - Over-framing (6” studs or greater) of wall planes with optional trim elements
  - Conventional framing (4” studs) with a header and/or sill element having a minimum projection of 2” and a width that is proportional to the window size with a minimum 4” dimension.
  - Enhanced sill with a minimum projection of 12”.
  - Trim surrounds or “picture frame” trim as long as the side and top trim members project forward of the wall plane a minimum of 2” and the sill portion projects forward a minimum of 4” and extends a minimum 2” past each side trim member. Uniform picture frame trim surrounds are not permitted.
- All other windows on the front elevations and visible side and rear elevations shall feature trim surrounds, headers or sills. The minimum reveal for trim elements on small decorative windows is 1 ½”. All other windows require a minimum reveal on trim elements of 2”
- The design of header, sill and trim elements must be consistent with the architectural style of the residence. Bull-nosed edges are not permitted on trim elements. Eased edge trim elements are required.
- The style of windows shall be compatible with the architectural style of the residence with the following recommendations:
  - Aluminum or vinyl extruded frame windows shall be appropriately colored to match or complement the house or trim colors.
  - Glazing may be either clear or tinted. Reflective glass is not permitted.

#### **4.5.9          DETAIL ELEMENTS**

- Detail Elements such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and / or other similar features shall be used to provide visual interest to the residential architecture, consistent with the architectural style.
- Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.

### 4.5.10 WALLS AND FENCES

- Walls and fences that are visible from streets, open space, or other public areas shall in accordance with Master Developer specifications. Please refer to Section 6.

### 4.5.11 GARAGES

- A mix of garage types is encouraged to de-emphasize the presence of garage doors along the street scene. Variety in garage design may include the use of the following (see Exhibit 10):
  - Front entry garages
  - Turn-in garages
  - Pushed-back garages
  - Split garages
  - Offset garages
  - Side entry garages on corner lots
  - Tandem garages\*
- Garages that are setback further from the street than adjoining living areas are encouraged, where feasible.
- On street facing garages, the face of garage doors shall be recessed a minimum of 12” from the adjacent wall surface, or have a minimum 12” popped-out surround.
- On garages that face onto a drive aisle that is 29’ or less, the face of garage doors shall be recessed a minimum of 8” from the adjacent wall surface.
- In lieu of recessed garage doors or pop-out surrounds, a trellis element projecting a minimum of 18” forward of the garage door wall plane may be used.
- No more than 3 contiguous front-facing garage spaces may face a street. Additional garage spaces, if any, must be turn-in, tandem, or other similar configurations so that the additional space(s) are not visible from the street.
- Front facing three car garages, when provided, must be designed in one of the following ways:
  - A 12” minimum recess of garage doors and 24” minimum offset of the plane of the garage doors between a single and double garage element.
  - A 24” minimum recess of the garage doors with no offset of the plane of the garage doors between a single and double garage element.
  - A 12” minimum recess of the garage doors with three single entry garage doors in the same plane.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## The Crossings

(See Exhibit 11)

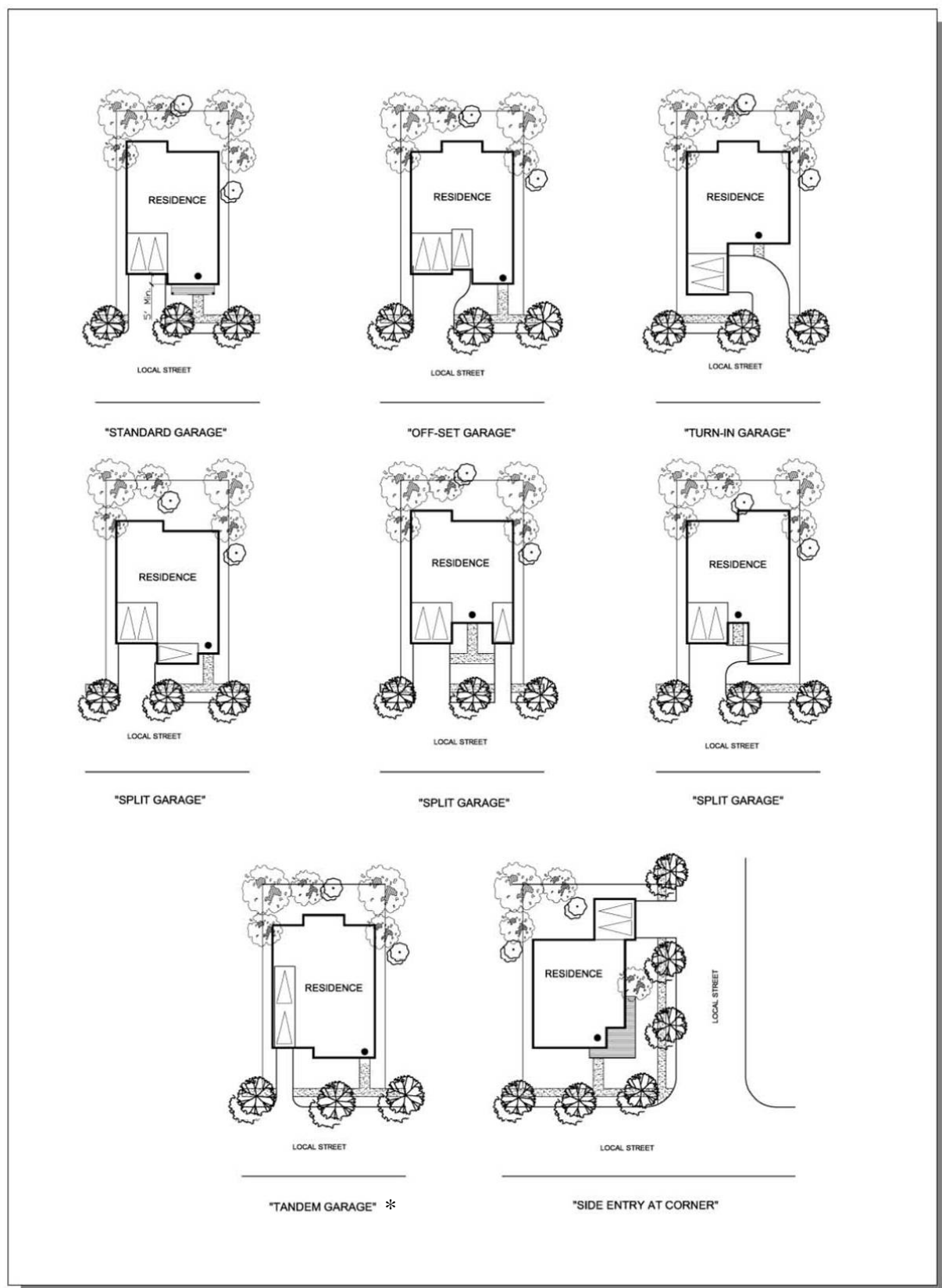
- Garage doors shall be compatible with the architectural style of the residence. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.
- Decorative window lights are required on the garage doors for a minimum of 1/3 of the dwellings within a subdivision. The style of window shall be appropriate to the architecture of the residence.

#### **4.5.12 CHIMNEYS**

- Chimneys, particularly chimney caps, shall be simple in design, so as not to distract from the building.
- The design of chimneys shall be compatible with the architecture of the building.
- The following features are appropriate:
  - Tile caps, brick or tile banding
  - Elaborated chimney tops for Spanish Colonial style.
  - Decorative metal caps that match trim colors.
- The following features are prohibited
  - Exposed flues.
  - Extravagant metal fireplace caps.

#### **4.5.13 EXTERIOR LIGHTING**

The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Victorville. Energy conservation, safety and security shall be emphasized when designing any lighting system.



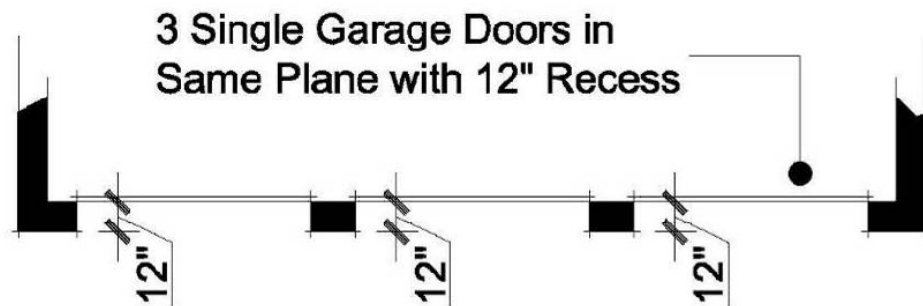
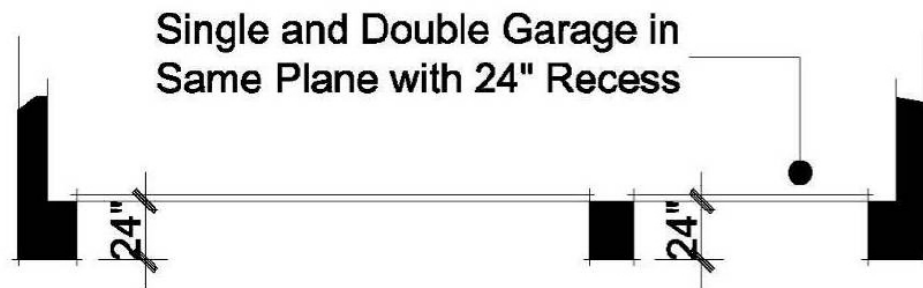
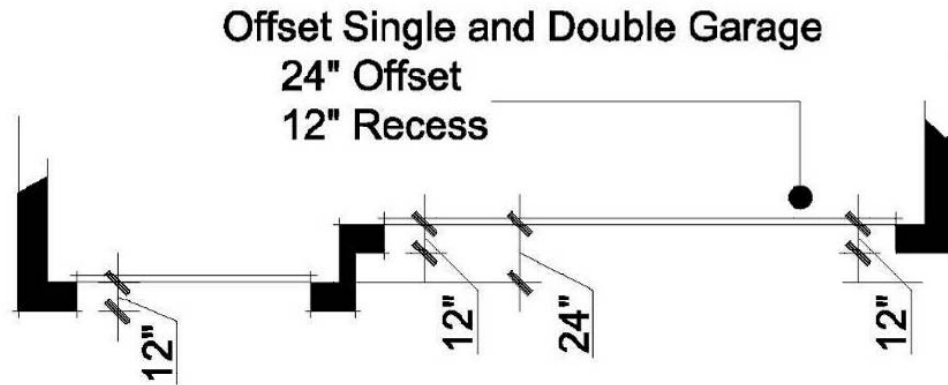
\*Revisions approved by City Council on February 6, 2007 SPA-04-002

**The Crossings**

Design Guidelines  
February 6, 2007

*Exhibit 10*  
**GARAGE TYPES**





- The style of exterior lighting fixtures shall be consistent with the architectural style of the residence. Manufacturer's cut sheets shall be provided in the design review submittal package for all proposed exterior lighting fixtures.

#### **4.5.14 ACCESSORY STRUCTURES**

- Casitas, guesthouses, detached garages, greenhouses, and other similar accessory structures shall be compatible in design, materials, and color as the main residence. Such structures must be visually related to the main residence through the use of courtyards, garden walls, or other landscape elements.

#### **4.5.15 MECHANICAL EQUIPMENT**

- Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas, and other such devices shall not be mounted on any roof.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.
- Ground mounted air conditioning units must be located behind side yard privacy return walls.
- All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot must be submitted for review and is subject to the CC&R's and all federal regulations.

### **4.6 MULTI-FAMILY ARCHITECTURAL CRITERIA**

The architecture of a Multi-Family Building is comprised of three basic components regardless of its architectural style. These architectural components consist of Building Facades, Roofs, and Detail Elements. Together, when these components are designed appropriately, a cohesive yet diverse residential neighborhood environment will be realized, consistent with the goals and objectives of The Crossings master plan.

#### **ARCHITECTURAL COMPONENTS**

- BUILDING FACADES
- ROOFS
- DETAIL ELEMENTS

### **4.7 BUILDING FACADES**

The scale of multi-family buildings shall be broken down through the use of varied building massing and forms on a single structure.

## **The Crossings**

Buildings shall incorporate significant offsets both horizontally and vertically, minimizing expansive uninterrupted wall planes.

Multi-family buildings shall incorporate height reducing elements such as:

- Stepping down of three story buildings to two story at prominent corners
- Large open balconies at building corners to provide negative space
- Shed roof forms
- Material changes

All elevations of a multi-family building shall be treated as a “front” elevation and shall include:

- A minimum of one principal window per floor per elevation, with remaining windows featuring trim surrounds, headers, or sills consistent with the architectural style of the building.
- Recessed or covered entry doors when needed for access\*
- Window groupings
- Sufficient articulation of building walls to provide interest

## **4.8 ROOFS**

- Roof treatments shall be consistent with the architectural style of the building.
- Variety in roof forms, ridge heights and direction of gables is required in order to avoid monotonous rooflines along master planned streets.
- Minimum overhangs shall be as identified on the architectural checklist for each style.
- Roof slopes shall be consistent with the architectural style of the building as indicated on the architectural checklist for each style.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel and mansard roof forms are prohibited.

### **4.8.1 ROOF MATERIALS**

- A variety of roof materials are encouraged throughout the neighborhoods of The Crossings in order to avoid a monotonous roofscape appearance. Roof materials may include barrel shaped clay or concrete tiles, flat clay or concrete tiles and shakes, and slate.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## **The Crossings**

- Roof materials shall be compatible with the architectural style of the building as indicated on the architectural checklist for each style.
- Roof materials shall have a matte finish to minimize glare.
- Standing seam metal roofs are permitted as an architectural accent element, but its use is subject to the sole discretion and approval of the Master Developer.
- Fascias may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.
- Skylights are permitted, but shall be designed as an integral part of the roof. White “bubble” skylights are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof.
- Permitted Materials
  - Clay or Concrete Barrel Tiles
  - Clay or Concrete Flat Tiles
  - Clay or Concrete Shakes
  - Slate
- Prohibited Materials
  - Low Profile “S”-tiles
  - Wood Shake
  - Fiberglass Shingles
  - Simulated Tile including fiberglass or metal
  - Rolled roofing material
- Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

## 4.9 DETAIL ELEMENTS

### 4.9.1 WINDOWS

- Principal windows are required on all elevations and are defined as one of the following:
  - A prominent window recessed a minimum of 24” or having a minimum 12” pop-out surround.
  - A bay window with a minimum 12” projection and detailed appropriate to the architectural style of the building.

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## The Crossings

- - A minimum 12” deep pot-shelf with roof element and corbels
  - An overhead trellage element projecting a minimum of 12”
  - A decorative iron window grille projecting a minimum of 12”
- In lieu of principal windows, all windows shall be recessed a minimum of 2” from the surface of the wall plane. The 2” recess for windows may be achieved in one or more of the following ways:
    - Over-framing (6” studs or greater) of wall planes with optional trim elements
    - Conventional framing (4” studs) with a header and/or sill element having a minimum projection of 2” and a width that is proportional to the window size with a minimum 4” dimension.
    - Enhanced sill with a minimum projection of 12”.
    - Trim surrounds or “picture frame” trim as long as the side and top trim members project forward of the wall plane a minimum of 2” and the sill portion projects forward a minimum of 4” and extends a minimum 2” past each side trim member. Uniform picture frame trim surrounds are not permitted.
  - All other windows and openings shall be trimmed or otherwise treated. Stucco trim elements, when used, shall be sand or smooth finish. The minimum reveal for trim elements on small decorative windows is 1 ½”. All other windows require a minimum reveal on trim elements of 2”.
  - Windows must be grouped or located near strong architectural elements and shall be proportional to the building massing of the structure.
  - Reflective glass is not permitted.

#### **4.9.2 GARAGE DOORS**

- All garage doors, when provided, shall be recessed 12” or be surrounded with 12” minimum pop-outs.
- Door lights, when used, shall be appropriate to the architectural style of the building.

#### **4.9.3 FRONT ENTRY DOORS**

- Front entry doors and entryways shall provide a focal point to each residential unit and shall be sun protected with overhangs, recesses, porches, or trellises.

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### **The Crossings**

#### **4.9.4 COURTYARDS**

- Courtyards are encouraged on multi-family buildings and, when used, shall appear as an extension of the architecture of the main building.
- Courtyard walls shall be finished to match the building and may be embellished with stone, ceramic tiles, steps, recesses, cutouts, or wrought iron accents appropriate to the architectural style of the building.

#### **4.9.5 BALCONIES**

- Balconies, when provided, shall be designed to be in scale and proportion with the architecture of the adjoining building.
- Covered or trellised balconies are preferred.
- Scuppers or internal drains are required on all balconies for drainage.
- Balcony supports, if used, shall be a minimum of 12” square and proportional to the size of the balcony.
- Balconies are considered part of the building envelope and shall conform to the setback criteria.

#### **4.9.6 CHIMNEYS**

- Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building.
- Chimneys caps shall be compatible with the architecture of the building.

#### **4.9.7 VENTS**

- Roof vents for gas appliances, water heaters, and heating units shall be painted to match the roof color. Such elements shall be located to minimize visual impact to building elevations.

#### **4.9.8 EXTERIOR STAIRS**

- Exterior stairs must be designed as an integral part of the architecture.
- Stairs are included in the setback calculation and must remain within the building envelope, as defined by an outermost wall and/or roof.

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### **The Crossings**

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- Stair guardrail design must be consistent with the architecture of the building.

#### **4.9.9           AWNINGS**

- Awnings, when provided, must be designed as an integral part of the architecture.
- Unacceptable awning treatments include metal louvers (except for Bermuda style shutters), untreated fabric, and project names, texts, or logos.

#### **4.9.10          MECHANICAL EQUIPMENT**

- No mechanical equipment (air conditioning/heating units, etc.) shall be mounted on, or attached to, any sloped roof. Mechanical equipment, when mounted on flat roofs, must be completely screened by parapet walls at least as tall as the equipment screened.
- Ground mounted air conditioning units must be screened by walls at least 6” higher than the unit(s) and located away from pedestrian paths and project amenities.
- Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof surfaces.

#### **4.9.11          METERS**

- Natural gas meters shall be grouped and screened behind walls. Builders shall contact Southwest Gas for minimum clearances.\*
- Electrical meters shall be ganged and located behind doors. Builders shall contact Southern California Edison for minimum clearances.\*
- Screen walls and electrical enclosures shall be designed integral to the project’s architecture.

#### **4.9.12          SOLAR PANELS**

- Panels shall be mounted directly to a sloped roof plane and be integral to the roof design.
- Roof mounted solar panel equipment shall be similar to the roof in color and appearance.
- Non-camouflaged solar panel equipment shall be located behind parapet walls of equal height to the equipment.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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### **The Crossings**

**4.9.13 SATELLITE DISHES**

- All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot must be submitted for review and is subject to the CC&R's and all federal regulations.

**4.9.14 GUTTERS AND DOWNSPOUTS**

- Exposed gutters and downspouts, when used, shall be colored to either match or complement the surface to which they are attached.

**4.10 ACCESSORY STRUCTURES****4.10.1 CLUBHOUSE AND RECREATION BUILDINGS**

- Clubhouses, recreation buildings, and other support buildings shall match the architectural style and detailing of the residential buildings.

**4.10.2 STORAGE BUILDINGS**

- Storage buildings must have the same level of architectural detailing as the residential buildings within the project.

**4.10.3 DETACHED GARAGES**

- Detached garages, when provided, must use a similar roof treatment and building material as the residential buildings they serve.
- Six-car detached garage structures are preferred as a maximum. Detached garage structures with more than six parking spaces shall have a minimum 2' garage door offset within the length of the structure.

**4.10.4 CARPORTS**

- Freestanding metal carports shall be cantilever type and must have a minimum 6" tall fascia wrapping all four sides of the roof.
- Carports shall have end walls or other screening devices with architectural detailing similar to the residential buildings.

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**The Crossings**



- Carport length shall not exceed the width of 8 parking spaces.
- Carport color, including roofs, must complement the development.

#### **4.10.5 TRASH ENCLOSURES**

- Trash enclosures shall be constructed of concrete masonry units finished similar to buildings in the development.
- All trash enclosures must have a roof structure and opaque metal gates that are consistent with the development.\*
- Each trash enclosure shall have a lighted access that meets federal accessibility standards.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## SECTION 5

# LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

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## 5.1 LANDSCAPE CONCEPT

The landscape concept for The Crossings reinforces the overall community theme through an informal planting palette and design, along with the use of more rustic materials for elements such as walls and fencing. Parcel developers shall incorporate this character and palette into individual projects to achieve a seamless relationship between the streetscapes and parcel landscapes. All planted areas shall contain landscaping/irrigation in accordance with City of Victorville Water Conservation Ordinance 2114.\*

## 5.2 PLANT MATERIALS LIST

The City of Victorville and the Master Developer have approved the following list of plants for use in the The Crossings Master Plan. Parcel developers should review the use of all plant material with a knowledgeable professional. Plants not on this list must be submitted to the City of Victorville Planning Director and the Master Developer for approval. All publicly maintained areas will be planted according to the City of Victorville LMAD, DFAD, and Parks Specification and Detail Booklet as applicable and according to the Specific Plan guidelines with native and drought resistant plants selected from the plant palette below or as otherwise approved by City staff. \*

### 5.2.1 APPROVED PLANT MATERIALS LIST

The plant materials selected were developed with emphasis on plant suitability to this region, drought tolerance, and the community theme. Selections were made with respect to growth factors such as climate and soil conditions and maintenance concerns. Plant materials have been selected to reinforce project identity and to promote a unified appearance. Plant compositions that add variety to the community theme are encouraged.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

<b>The Crossings, Victorville, California Master Plant List</b>	
<b>Approved Plant Material: Botanical Name</b>	<b>Common Name</b>
<b>Trees</b>	
Acacia aneura	Mulga
Acacia berlandieri	Guajilo
Acacia constricta	Mescat Acacia
Acacia gregii	Catclaw Acacia
Acacia occidentalis	
Acacia rigidula	Blackbrush Acacia
Acacia schaffneri	Twisted Acacia
Acacia stenophylla	Shoestring Acacia
Arbutus unedo	Strawberry Tree
Bauhinia mexicana	
Cercidium floridum	Blue Palo Verde
Cercidium microphyllum	Little Leaf Palo Verde
Celtis pallida	Desert Hackberry
Celtis reticulata	Western Hackberry
Celtis sinensis	Chinese Hackberry
Cercis canadensis	Eastern Redbud
Cercis chinensis	Chinese Redbud
Cercis occidentalis	Western Redbud
Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cotinus coggygria	Smoke Tree
Cotinus coggygria purpureus	Smoke Tree
Crateagus ambigua	Russian Hawthorn
Crateagus laevigata	English Hawthorn
Dalea spinosa	Smoke Tree
Eysenhardtia orthocarpa	Kidneywood
Fraxinus ornus "Raywood"	Raywood Ash
Havardia mexicana	Mexican Ebony

Botanical Name	Common Name
<i>Juniperus osteoperada</i>	Utah
<i>Koelreuteria bipinnata</i>	Chinese Flame
<i>Koelreuteria paniculata</i>	Goldenrain
<i>Melia azedarach</i>	Chinaberry
<i>Parkinsonia aculeata</i>	Mexican Palo Verde
<i>Parkinsonia</i> hybrid 'Desert Museum'	
<i>Parkinsonia microphyllum</i>	Foothill Palo Verde
<i>Pinus eldarica</i>	Mondell Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus pinea</i>	Italian Stone Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i>	London Plane
<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Prosopis</i> hybrid	Phoenix (Thornless)
<i>Tilia americana</i>	American Linden
<i>Tilia cordata</i>	Little Leaf Linden
<i>Tilia tomentosa</i>	Silver Linden
<i>Velutina</i>	Arizona Ash
<i>Zelkova serrata</i>	Sawleaf
<b>Shrubs</b>	
<i>Abelia grandiflora</i>	Glossy Abelia
<i>Abelia grandiflora</i> "Edward Goucher"	Glossy Abelia
<i>Abelia graniflora</i> "Francis Mason"	Glossy Abelia
<i>Aloysia virgata</i>	
<i>Atriplex hymenelytra</i>	Desert Holly
<i>Atriplex nummularia</i>	Old Man Saltbush
<i>Bebbia juncea</i>	Sweet Bush
<i>Berberis thunbergii</i>	Japanese Barberry
<i>Buddleia davidii</i>	Butterfly Bush
<i>Buxus microphylla</i> 'Asiatic Winter Gem'	Winter Gem
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise

Botanical Name	Common Name
<i>Cordia parvifolia</i>	Little Leaf Cordia
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster
<i>Cotoneaster horizontalis</i>	Cotoneaster
<i>Cotoneaster "Hybrid Pendulus"</i>	
<i>Dalea pulchra</i>	Indigo Bush
<i>Dicliptera resupinata</i>	Native Dicliptera
<i>Dodonaea viscosa</i>	Hop Bush
<i>Encelia farinosa</i>	Brittlebush
<i>Eremophila maculata</i>	Valentine
<i>Ericameria larcifolia 'Desert Mountain'</i>	Turpentine Bush
<i>Euonymus europaea</i>	European Spindle Tree
<i>Euonymus japonica</i>	Evergreen Euonymus
<i>Fallugia paradoxa</i>	Apache Plume
<i>Genista hispanica</i>	Spanish Broom
<i>Genista pilosa "Vancouver Gold"</i>	
<i>Hardenbergia violacea</i>	Purple Coral Pea
<i>Hyptis emoryi</i>	Desert Lavender
<i>Ilex meserveae</i>	Blue Holly
<i>Juniperus chinensis "Ames"</i>	
<i>Juniperus chinensis "Armstrongii"</i>	Armstrong
<i>Juniperus chinensis "Fruitland"</i>	
<i>Juniperus chinensis "Gold Coast"</i>	
<i>Juniperus chinensis "Golden Armstrong"</i>	
<i>Juniperus chinensis "Mint Julep"</i>	
<i>Juniperus chinensis "Phitzerana"</i>	Nick's compact
<i>Juniperus chinensis "Phitzerana"</i>	Mordigan Aurea
<i>Juniperus chinensis "Phitzerana"</i>	Old Gold
<i>Juniperus chinensis "Phitzerana Glauca"</i>	
<i>Juniperus chinensis "Sea Green"</i>	
<i>Juniperus sabina "Moor-Dense"</i>	
<i>Juniperus sabina "Variegated"</i>	Hoarfrost
<i>Juniperus scopulorum "Table Top Blue"</i>	
<i>Juniperus squamata "Blue Star"</i>	
<i>Justicia spicigera</i>	Mexican Honeysuckle

Botanical Name	Common Name
<i>Leucophyllum frutescens</i>	Texas Sage
<i>Leucophyllum</i> spp.	
<i>Lycium andersonii</i>	Desert Wolfberry
<i>Lycium exsertum</i>	Thornbush
<i>Lycium fremontii</i>	Wolfberry
<i>Mahonia aquifolium</i>	Oregon Grape
<i>Mahonia bealei</i>	Leatherleaf
<i>Mahonia fremontii</i>	Desert
<i>Mahonia repens</i>	Creeping
<i>Malpighia glabra</i> 'Mariquita'	Barbados Cherry
<i>Maytenus phyllanthoides</i>	Mangle Dulce
<i>Myrtus communis</i>	Myrtle
<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Plumbago scandens</i>	Summer Snow
<i>Pyracantha</i>	
<i>Pyracantha augustifolia</i> "Yukon Belle"	
<i>Pyracantha coccinea</i> "Lalandel"	
<i>Pyracantha fortuneana</i> "Graberii"	
<i>Pyracantha koidzumii</i> "Victory"	
<i>Pyracantha</i> "Mohave"	
<i>Pyracantha</i> "Wateri"	
<i>Rhamnus crocea ilicifolia</i>	Hollyleaf Redberry
<i>Russelia equisetiformis</i>	Coral Fountain
<i>Salvia chamaedryoides</i>	Mexican Blue Sage
<i>Salvia clevelandii</i>	Cleveland Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Salvia leucophylla</i>	Purple Sage
<i>Senna artemisioides</i>	Feathery Cassia
<i>Simmondsia chinensis</i>	Jobba
<i>Simmondsia chinensis</i> 'Vista'	Compact Jojoba
<i>Sophora arizonica</i>	
<i>Tecoma stans</i> v. <i>stans</i> 'Gold Star'	

Botanical Name	Common Name
Tecoma x Sunrise	Sunrise
Viguiera parishii	Goldeneye
Xylosma congestum	
Xylosma congestum "Compacta"	
Ziziphus obtusifolia	Graythorn
<b>Groundcovers</b>	
Atemisia caucasica	Silver Spreader
Atemisia dracunculoides	True Tarragon
Atemisia frigida	Fringed Wormwood
Atemisia lactiflora	White Mugwort
Atemisia pycnantha	Sandhill Sage
Baccharis pilularis	Dwarf Coyote Bush
Bahia absinthifolia	Bahia
Carex pansa	California Meadow Sedge
Carex tumulicola	Berkeley Sedge
Chamaemelum nobile	Chamomile
Coreopsis auriculata	Nana
Coreopsis grandiflora	Coreopsis
Coreopsis lanceolata	Lance Coreopsis
Cotoneaster adpressus	Creeping Cotoneaster
Cotoneaster adpressus praecox	Early Cotoneaster
Cotoneaster congestus	Pyrenees Cotoneaster
Cotoneaster dammeri	Bearberry Cotoneaster
Euonymus fortunei	Winter Creeper
Gaura lindheimeri	Gaura
Glandularia puchella	Rock Verbena
Hemerocallis fulva	Tawney Daylily
Hemerocallis hybrids	
Hemerocallis lilioasphodelus	Lemon Daylily
Hippocrepis comosa	
Hypericum calycinum	Aarons Beard
Juniperus chinensis "Alba"	Variegated prostrata
Juniperus chinensis "Parsonii"	Prostrata Juniper
Juniperus chinensis "San Jose"	

Botanical Name	Common Name
<i>Juniperus chinensis procumbens</i>	Japanese Garden
<i>Juniperus chinensis procumbens</i>	Nana
<i>Juniperus chinensis sargentii</i>	Sargent, Shimpaku
<i>Juniperus horizontalis</i> "Blue Chip"	
<i>Juniperus horizontalis</i> "Douglasii"	Waukegan
<i>Juniperus horizontalis</i> "Emerald Spreader"	
<i>Juniperus horizontalis</i> "Hughes"	
<i>Juniperus horizontalis</i> "Plumosa"	
<i>Juniperus horizontalis</i> "Prince of Whales"	
<i>Juniperus horizontalis</i> "Turquoise Spreader"	
<i>Juniperus horizontalis</i> "Wiltonii"	
<i>Juniperus horizontalis</i> "Yukon Belle"	
<i>Juniperus sabina</i> "Arcadia"	
<i>Juniperus sabina</i> "Blue Danube"	
<i>Juniperus sabina</i> "Broadmoore"	
<i>Juniperus sabina</i> "Buffalo"	
<i>Juniperus scopulorum</i> "White's Silver King"	
<i>Juniperus scuamata</i> "Blue Carpet"	
<i>Juniperus virginiana</i> "Silver Spreader"	
<i>Rosmarinus officinalis</i> "Huntington Blue"	Collingwood Ingram
<i>Rosmarinus officinalis</i> "Prostratus"	Dwarf Rosemary
<i>Malephora lutea</i>	Rocky Point Ice Plant
<i>Muhlenbergia dumosa</i>	Bamboo Muhly
<i>Salvia argentea</i>	Silver Sage
<i>Salvia argentea</i>	Mealy-cup Sage
<i>Verbena tenuisecta</i> 'Edith'	
<b>Accents</b>	
<i>Agave americana</i> v. <i>marginata</i>	Variegated Century Plant
<i>Agave americana</i> v. <i>mediopicta</i>	
<i>Agave bracteosa</i>	Spider Agave
<i>Agave celsii</i>	
<i>Agave colorata</i>	Mescal Ceniza
<i>Agave lophantha</i>	Center Stripe Agave
<i>Agave ocahui</i>	



Botanical Name	Common Name
Agave parrasana	
Agave schidigera	Durango Delight
Agave striata	
Aloe hybrid 'Blue Elf'	
Aloe saponaria	African Aloe, Tiger Aloe
Dasyllirion quadrangulatum	Toothless Desert Spoon
Festuca spp.	
Muhlenbergia spp.	
Nolina beltingii	
Nolina matapensis	Tree Bear Grass
Opuntia santa rita	Tubac
Opuntia turpinii	Pine Cone Prickly Pear
Penstemon parryi (pink)	Parry Penstemon
Ruellia brittoniana 'Blanca'	White Dwarf Ruellia
Ruellia brittoniana 'Rosa'	Pink Dwarf Ruellia
Ruellia brittoniana 'Katie'	Blue Dwarf Ruellia
<b>Vines</b>	
Ampelopsis brevipedunculata	Blueberry Climber
Callaeum liliacaena (Mascagnia liliacaena)	Purple Orchid Vine
Euonymus fortunei radicans	Winter Creeper
Gelsemium sempervirens	Carolina Jasmine
Hardenbergia violacea	
Hedera helix	English Ivy
Lonicera japonica "Halliana"	Hall's Honeysuckle
Lonicera sempervirens	Trumpet Honeysuckle
Macfadyena unguis-cati	Cat's Claw
Merremia aurea	Yellow Morning Glory Vine
Parthenicissus tricuspidata	Boston Ivy
Vinca Major	Greater Periwinkle
Vinca Minor	Dwarf Periwinkle

### 5.2.2 APPROVED PLANT MATERIAL LIST (CORNER ELEMENT)

In order to enhance the character and provide a visibly distinct appearance, certain locations within the landscape area shall be defined as corner elements. Corner elements are those areas located adjacent to intersections of roadways or at parcel entries.

The plant material selected shall be from the list presented in section 5.2.1, from an additional list that is approved by the Director of Planning for the City of Victorville or from the following list:

BOTANICAL NAME	COMMON NAME
<b>Trees</b>	
Chitalpa tashkentensis	Chitapla
Pinus eldarica	African Pine
Rhus lancia	African Sumac

### 5.2.3 ROCK MULCH

#### Mulch Treatment

All shrub and ground cover areas shall be covered with a top dressing of gravel mulch or decomposed granite. Bare ground is not permitted. Sizing shall range from 3/8" to 1/2" minus diameter.\* Color to-be-determined.

## 5.3 IRRIGATION

#### Design Intent

Automatic irrigation systems are required for all planting areas.

#### Water Demand

Peak flow demands shall be based on applying peak weekly irrigation requirements in 6 hours (12:00am-6:00am). Design shall be based on available static pressure minus 10% for fluctuations.

#### Water Application

Areas requiring overhead spray shall be minimized and shall be restricted to turf. All other areas must use drip irrigation.\*

#### Overhead Irrigation

Spray heads next to roadways and walkways must have low angle (10%) nozzles. Large radius rotor heads (25-foot radius or greater) are not allowed abutting roadway or walkway edges.

All spray heads (15-foot radius or less) shall be spaced no further than 45% of the spray diameter to account for area wind conditions. Spacing for large radius rotors (25-foot radius or greater) shall not exceed 50% of the spray diameter.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

### The Crossings

Spray irrigated areas shall be a minimum of 10 feet wide. \*

Overhead irrigation heads may not throw water directly onto any roadway, walkway, or paved surface.

### **Drip Irrigation**

The minimum quantity of emitters per plant shall be in accordance with the following table. Some variation may occur due to differences in water demand between plant material.

<b>Plant Size</b>	<b>Emitter Volume</b>	<b>Quantity</b>
1 gallon material	1 GPH	1 each
5 gallon material	½-1 GPH	2 each
15 gallon material	2 GPH	3-4 each
24" box material	2 GPH	4-5 each
36" box material	2 GPH	6-7 each
48" box material	2 GPH	7-8 each
54" box material	2 GPH	9-12 each
60" box material	2 GPH	12-16 each

### **Zoning**

Overhead and drip irrigation systems must be zoned for exposure (south and west exposures together, north and east exposures together), topography, and varying water requirements of plant material.

### **Water Management**

All irrigation systems for project common areas shall use solid state electronic, micro-processor controllers capable of a minimum of three operating programs and four start times per program.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

## 5.4 PARCEL ENTRIES

### Entry

Parcel entry design alternatives have been established for the residential parcels that provide continuity with community theme. Parcel identity signage must be mounted on the sign wall. See the egress section for additional signage requirements. All colors and materials must be approved by the HOA.

### Minimum Landscape Requirements

Parcel entry landscape shall be designed and installed for immediate impact. At a minimum, parcel entries must contain the following:

- Minimum 36-inch box trees at primary entries.
- 5 gallon shrubs.
- 75% minimum vegetative cover.
- No turf in median islands or next to curbs for public entries.
- Rock mulch under all shrub and groundcover areas.
- 5-foot wide sidewalk on both sides (one side only allowed for secondary entry).
- Mortar-washed painted walls.

### Gated Entries

Gates, gatehouses, and card key stations must be located to allow sufficient stacking distance, subject to City of Victorville public works standards. A median break is required to allow for vehicle turn-around. Entry gates must be consistent with the village view fence design and color.

### Responsibility

The parcel developer shall design and construct all improvements within the entry area, including the walls, pilasters, signage, walks, lighting and landscape.

### Maintenance

The HOA will maintain all public entry elements. The parcel homeowners association will maintain all private entry elements, including the sign wall and associated landscaping.

## 5.5 MASTER SIGNAGE PROGRAM

A master signage program will be prepared for all temporary and permanent signage within The Crossings master planned community. The signage program will provide appropriate design criteria to ensure that all signs are compatible with the community theme, and provide functional identification and direction to the various neighborhoods and amenities within the community.

## **5.6 SINGLE FAMILY DEVELOPMENTS**

### **RESIDENTIAL STREET AND FRONT YARD LANDSCAPE**

#### **General**

Parcel developers shall design and install landscapes along residential streets, including front and corner lot side yards, within parcels. All landscape must be installed prior to occupancy of a residence.

#### **Front Yard Paving**

The minimum width of an entry walk is 4 feet. Entry walks must be separated from a building wall by a minimum 1½ -foot, planting strip that is fully planted or covered with rock mulch.

#### **Front Yard Planting**

Front yards shall be landscaped to coordinate with the community theme. A minimum of two trees is required in each front yard.

Trees shall be spaced at least 15 feet apart. If trees need to be spaced more closely, they shall be of the same species.

Trees should be planted outside the City R.O.W. and shall not interfere with sewer laterals.

Foundation planting shall completely cover the visible portion of a house's base, including all backflow preventer units, within one year of installation.

Each front yard must contain at least five different species of shrubs and/or ground cover plants. Shrubs and ground covers shall be used in groupings of similar plants positioned to complement other plants of varying heights and textures.

Parcel developers are encouraged to offer homebuyers upgrade options for front yard landscaping. Upgrades can include denser planting, larger plant sizes, cobbled stream beds, boulder clumps, landscape lighting, etc.

#### **Turf Restrictions**

Turf is not permitted in the front yard. Turf is limited to 50 % of the backyard landscaped area. The recommended minimum width of a lawn area is 10 feet. Turf shall be kept at least 3 feet from a building face or wall, including side yard retaining walls.\*

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## **The Crossings**

**Transition Areas Between Lots Drainage Swales**

Treatment of the area where the landscape of two lots abut should be similar to create a unified and more expansive landscape feeling. A hard edge (i.e. mow strips, edging, walls, etc.) between lots should be minimized. Turf to gravel mulch is not allowed from the lot-to-lot transition.

Drainage swales are required along the side yards of adjacent lots. Planting or hardscape shall not impede drainage patterns.\*

**Planting Along Corner Lot Side Yards, Rear Yards, and Ends of Cul-de-Sacs**

All areas between a product or retaining wall and the back of curb or sidewalk shall be planted with a landscape palette consistent with the parcel theme. Minimum requirements are:

- 60% organic coverage at two year's growth.
- Full coverage of gravel mulch.
- One 24-inch box tree for every 30 linear feet along the wall facing the street.

Landscape areas between walls and curbs must be maintained by the lot owner, if part of the adjacent lot, or the HOA.

**FRONT YARD LANDSCAPE REQUIREMENTS**

Minimum Tree Quantity	2
Minimum Tree Size	24-inch box
Primary Tree Type at Street	Shade
Maximum Street Tree Spacing	40 feet
Secondary Tree Type	Shade, Accent or Coniferous
Planting Character	Formal or Informal
Minimum Shrub Size	5 gallon
Minimum Accent Plant Size	1 gallon
Minimum Ground Cover Size	1 gallon
Organic Ground Plane Materials	Turf and Ground Cover
Rock Mulch Type	(to-be-determined)
Minimum Organic Coverage	75%

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

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## **5.7 AMENITY / OPEN SPACE LANDSCAPE**

### **5.7.1 PARCEL OPEN SPACE AND PEDESTRIAN CONNECTIONS**

The parcel developer shall install all interior parcel open space landscape areas, where required. Minimum improvements are:

- One 24-inch box tree for every 750 s.f. of total landscape area.
- 50% vegetative cover for non-paved areas.
- An automatic irrigation system.
- An irrigation meter, power source, and controller.

### **5.7.2 PARCEL ENTRIES**

All parcel entries are to be unique designs based on the exhibits shown. The exhibits depict common element, required geometry, and the minimum landscape area to be provided at each entry. The exhibits and following list depict the common elements that are required be used in the design of the entry:

- Designated Sign Wall
- Project Theme Pilasters
- Project Theme Wall from entry to first intersection
  
- Minimum one 36" box tree for every 500 s.f. of total landscape area.
- 75% vegetative cover for non-paved areas.
- An automatic irrigation system.
- An irrigation meter, power source, and controller
- Sign and Landscape Up Lighting

The following items are encouraged to be used to create variety among entries:

- Stone Veneer
- Raised Planters
- Enhanced Paving
- Turf

## **5.8 MULTI-FAMILY DEVELOPMENTS**

### **PARKING LOT LANDSCAPE**

Parking lots shall be landscaped to reduce their visual impact. Landscape in and around parking lots shall consist of two categories:

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## **The Crossings**

- a. Perimeter landscape that surrounds the interior parking lots to a depth of 10 feet, including walks. A minimum of one 24-inch box tree shall be planted for every 20 l.f. of landscape area.
- b. Interior landscape within parking lots that reduces the paving mass of a parking lot and provides shade. A minimum of one 24-inch box tree shall be planted for every 10 parking spaces. Landscape islands shall contain a minimum of one tree per parking stall depth.

All non-paved areas within the perimeter and interior of parking lots shall be landscaped with a combination of plant materials and rock mulch.

Parking visible from roadways and community open space shall be screened with a combination of berms, low walls or landscape. Low walls and berms shall be a maximum height of 3 feet from the top of curb of the parking area.

## **5.9 MODEL COMPLEXES**

### **Model Homes**

The following criteria apply to both single family and multi-family developments.

Model home landscape shall be consistent with the parcel theme. Landscape quantity and size shall be two times the minimum standards to increase landscape visibility and establish the character of the parcel.

## **5.10 COMMUNITY LIGHTING**

### **General**

Lighting shall be designed to provide safe and functional illumination in an aesthetically pleasing and visually unobtrusive manner.

Light fixtures with cutoff or concealed light sources are preferred. This type of fixture may include wall sconces, recessed lighting, soffit lighting, and directional lighting. Lighting which produces excessive glare or shines on an adjacent lot will not be allowed.

Exterior lighting must be submitted for review.

### **5.10.1 STREET LIGHTING**

All public or non-gated projects must use the poles and fixtures provided by Southern California Edison that are also approvable by the City of Victorville Planning Director and City Engineer. Private or gated projects may use poles and fixtures appropriate to the character of the project. Please refer to Exhibit 12 (illustration only).



The intent of the developer is to choose and install streetlights throughout the community that are both similar (if not identical) in character and recognized as an enhancement to the streetscape.

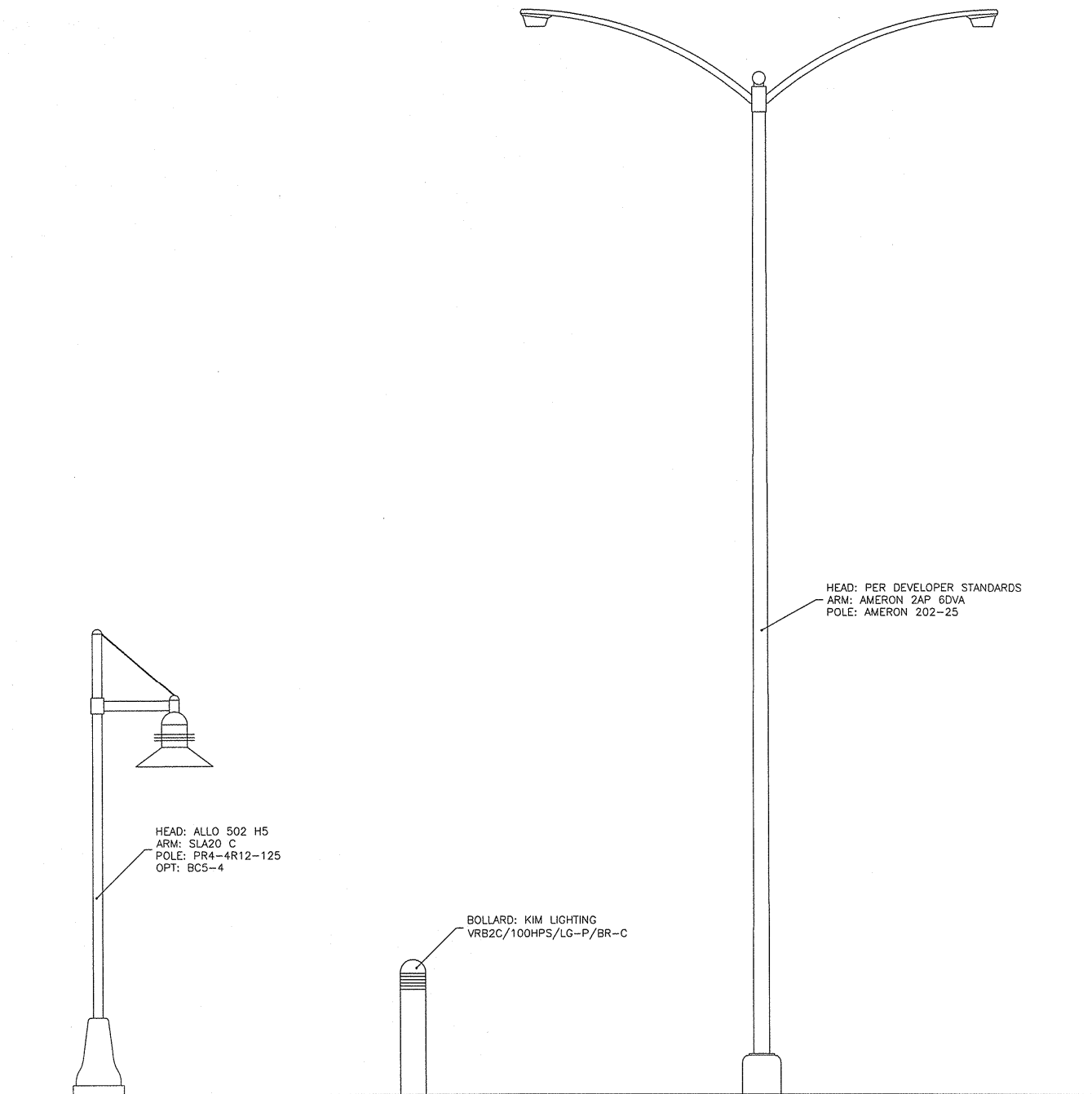
### **5.10.2 LANDSCAPE LIGHTING**

The use of landscape up-lighting and down-lighting is encouraged. Lighting that will cause glare or discomfort, or disrupts the visual environment of neighboring units or adjacent parcels, is not permitted. Floodlights are also prohibited.

Fixtures shall be constructed and mounted to withstand and discourage abuse. Aboveground plastic housings and connections are prohibited.

### **5.10.3 SECURITY LIGHTING**

Lighting systems shall be designed and installed in a manner that promotes the safety of pedestrian and vehicular movement. Area illumination must be provided for parking areas, entry areas, walkways, and other people gathering areas.



# ENTRY AND WALL GUIDELINES

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## 6.1 PARCEL ENTRIES (BUILDER)

The arrival experience into each neighborhood shall reinforce the overall community theme of The Crossings. Architectural and landscape elements found throughout the community shall be incorporated into the neighborhood entry experience to provide a seamless transition between the overall community and individual neighborhoods.

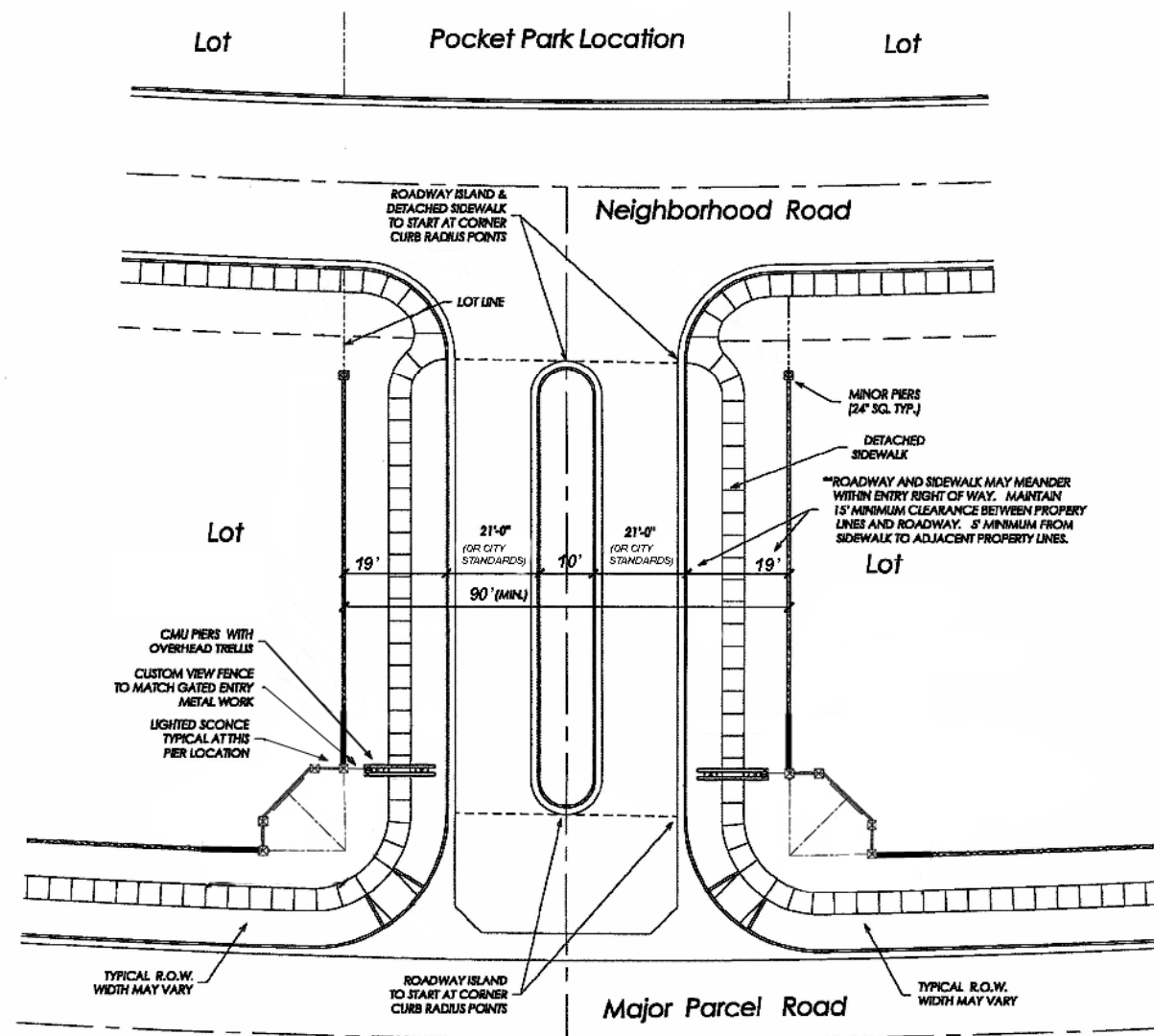
The Master Developer has identified the location of at least one entry into each parcel. It is the responsibility of the builder to design a subdivision plan that incorporates this point of access. Additional points of access that do not impede the overall efficiency of master planned roadways may be possible, but require specific approval from the Master Developer and City of Victorville. In some cases, the builder may be required to coordinate parcel entries or interconnections with an adjacent parcel.

The typical parcel entry layout is depicted in Exhibit 13.

### Main Entry

NOT TO SCALE

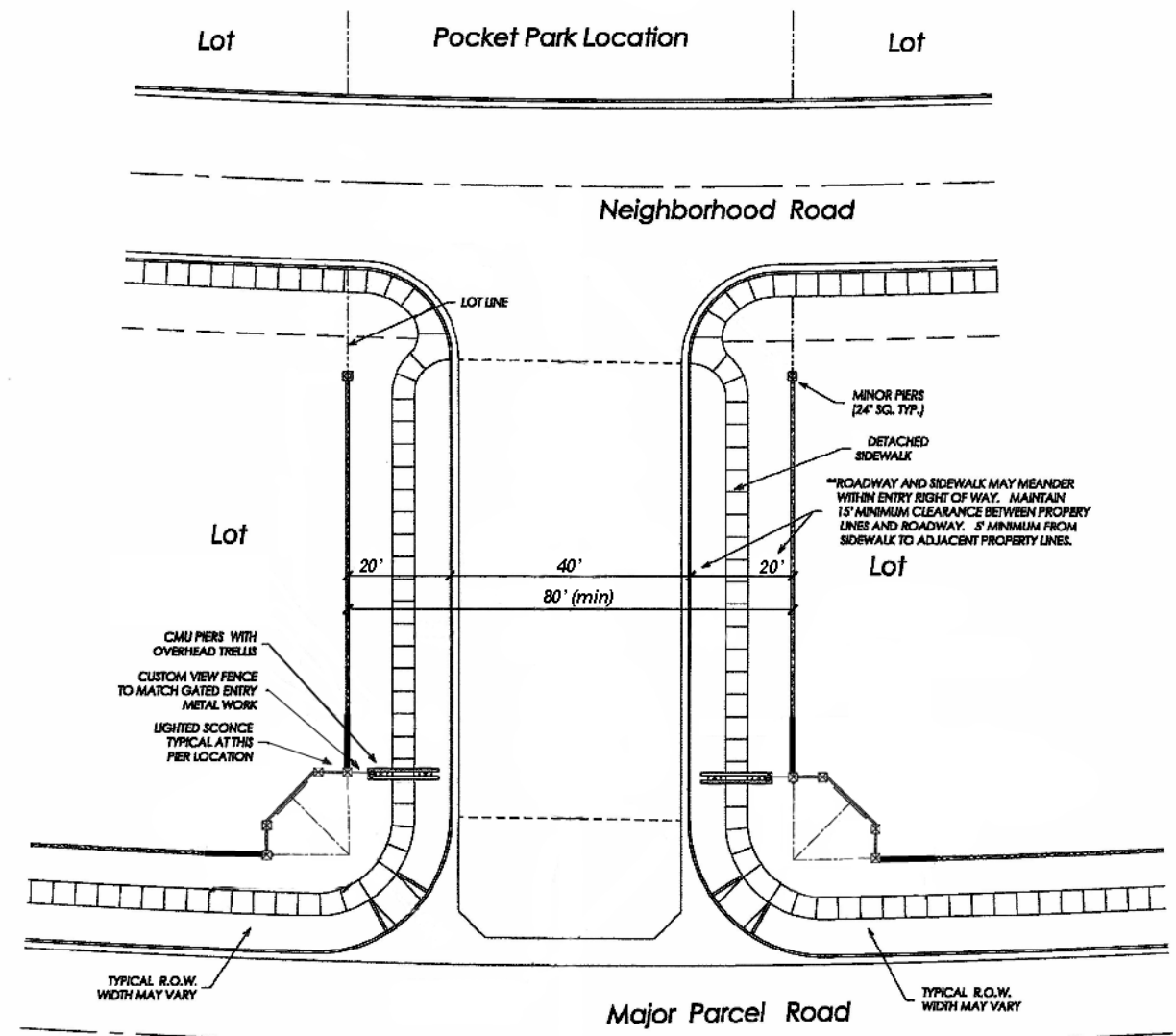
NOTE:  
All builder entries will be thematically designed jointly by The Crossings Landscape Architect and the Builders representative as specified in the Development Declarations.



### Secondary Entry

NOT TO SCALE

NOTE:  
All builder entries will be thematically designed jointly by The Crossings Landscape Architect and the Builders representative as specified in the Development Declarations.



## **6.2 WALLS (MASTER DEVELOPER AND/OR BUILDER)**

The community walls planned throughout The Crossings have been designed to reinforce the overall community image of the development. The walls will be complemented by a hierarchy of landscaped parkways adjacent to master planned roadways.

### **6.2.1 COMMUNITY WALLS**

#### **General**

All walls will be constructed by the parcel developer and approved by Master Developer in accordance with the standards established herein.\*

#### **Single Family Attached and Multi-Family**

View fences or view walls along community open spaces are encouraged. These shall be constructed by the parcel developer to conform to the community standard.

#### **Design**

Community walls consist of either solid walls or view fences. See Exhibit 14 for detailed design information. Walls and fences must step, not slope, to accommodate grade changes.

At a minimum, community pilasters are required at wall angle points and wall terminations. \*

#### **Maintenance**

The HOA will maintain the outside face and top of community walls along roadways and community open space. Individual lot owners or project homeowners associations are responsible for maintaining the inside of village walls as well as other walls within a project.

### **6.2.2 PRODUCT WALLS**

#### **General**

Product walls are all walls interior to a project that are not community walls and are built by the parcel developer. Parcel developers shall develop a unified parcel wall theme that reflects the architecture of the parcel.

#### **Product Walls**

Product walls are visible from adjacent non-residential parcels, adjacent streets or community open space.\* Side yard wall returns, side yard privacy walls along corner lots, and rear yard privacy walls along neighborhood streets are all product walls. All product walls shall be constructed of concrete masonry (CMU) block and shall be installed on all individual lots within all neighborhoods. The exterior face of the product wall shall be either decorative concrete block, painted stucco or integral color stucco on concrete block.

\*Revisions approved by City Council on February 6, 2007 SPA-04-002

**Product View Walls**

All view walls built by the parcel developer within or at the perimeter of single family neighborhoods shall meet county pool requirements and comply with the community standard design

**Height**

Product wall height shall not exceed 7 feet. If additional height for retainage is necessary, walls must be terraced.

**Product Wall to Village Wall Connections**

Where a product wall meets a community wall, the product wall must meet the elevation of the village wall at the point of connection or be lower than the community wall. Taller product walls shall be held for at least 8 feet back from the village wall before stepping down to the community wall.

**Product Wall to Product Wall Connections**

Where two product side walls meet at adjoining parcels, exteriors of connecting walls shall match in color, finish, and location.

**Wall Steps**

The maximum step is 16 inches with a minimum of 32 inches horizontal between steps.

**6.2.3           RETAINING WALLS****Height and Setback**

Free-standing retaining walls next to, or visible from any street or community open space shall not exceed 4 feet in height. Grade changes that require more retaining must be terraced with a minimum 4 foot wide planter as measured from face of wall to face of wall.

Free-standing retaining walls must be set back a minimum of 5 feet from back of curb.

Retaining walls shall not abut a sidewalk. All free-standing retaining walls must have a return back to the adjacent product wall.

Retaining walls may be combined with a product or community wall so long as the total visible height of solid wall, as measured on the exterior side of the wall, does not exceed 7 feet.

**Damp-proofing**

All retaining walls must be damp-proofed. Walls must also be adequately drained, if required, on the surcharge side.

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**The Crossings**

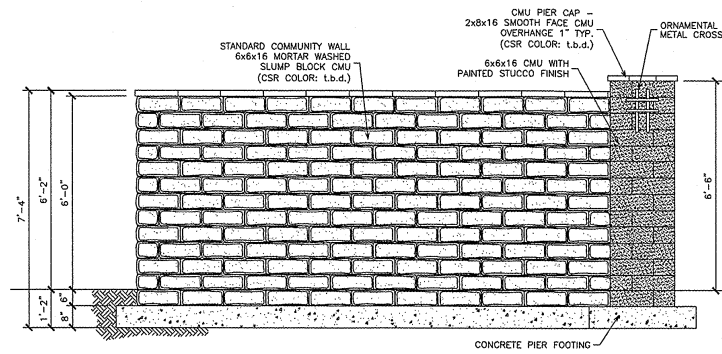
**Acceptable Materials**

Retaining walls interior to a parcel, but visible from any street or community open space shall be finished in one of the following ways:

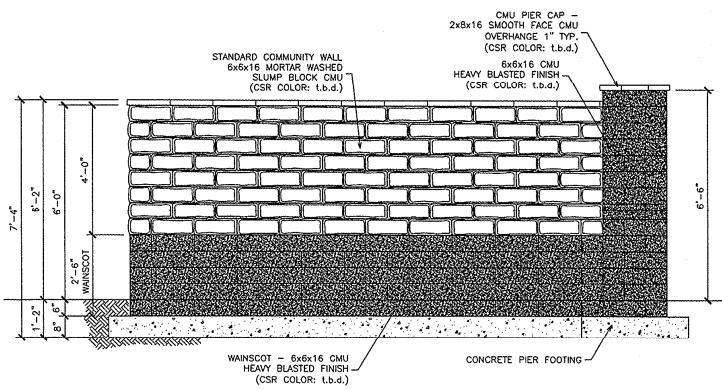
- Painted stucco or integral color stucco on concrete block.
- Stone or manufactured stone face
- Mortar washed split face concrete block

**Prohibited Materials**

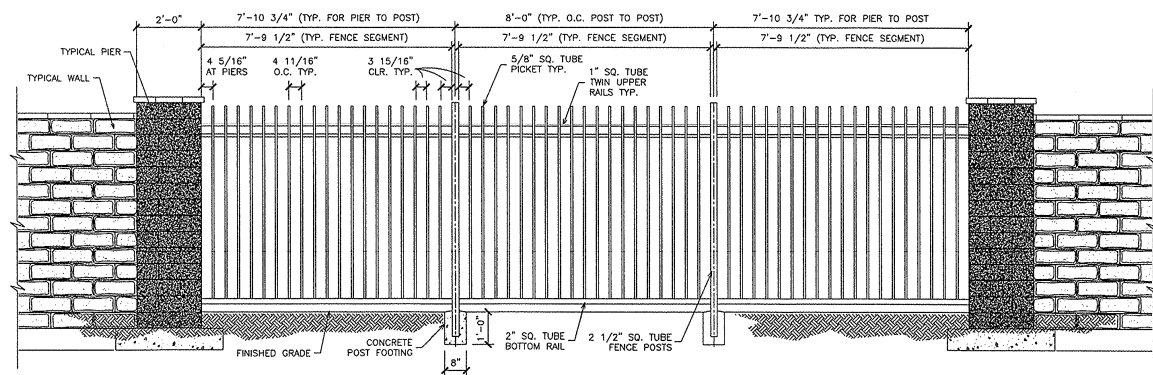
Unpainted or unfinished gray concrete block is not permitted for retaining walls visible from any street or community open space. Treated wood is also not permitted.



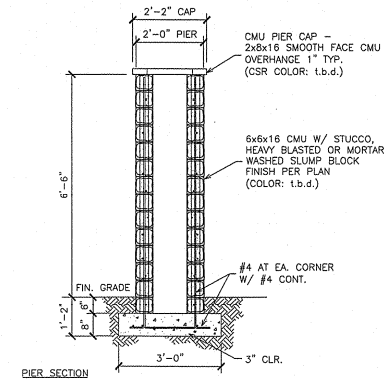
Wall Concept "A"



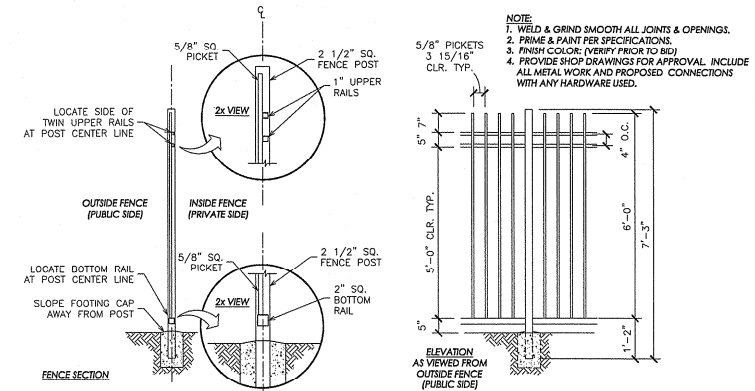
Wall Concept "B"



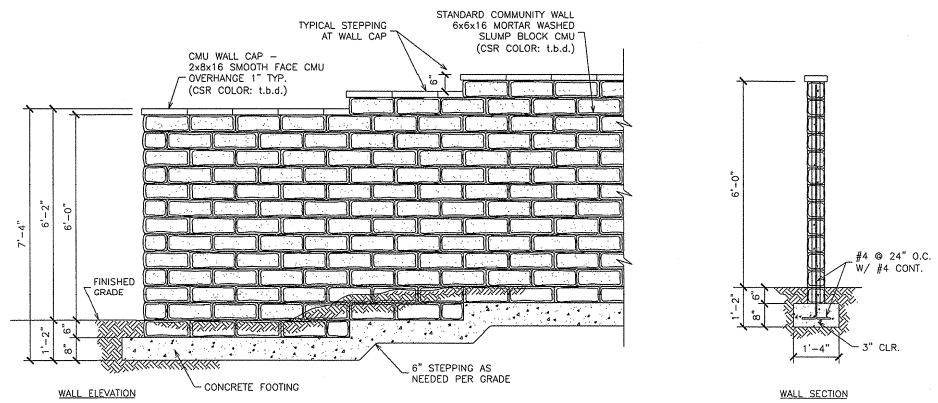
View Fence Concept



Pier Detail



Fence Detail



Wall Detail



# COLOR DESIGN GUIDELINES

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## 7.1 COMMUNITY COLOR PROGRAM

The Crossings Color Program contains a distinctive color and materials palette for each of the architectural styles within The Crossings including, but not limited to, Craftsman, Prairie Ranch, Spanish Colonial, Country European, Monterey, Southern Italian, and Tuscany. All color and materials selected respond to the surrounding desert environment by virtue of lower (darker) light reflectance values (LRV) and the use of desert appropriate shades.

Each style's color palette contains approved roof, field, fascia, trim and accent colors. Approved masonry colors have been provided where appropriate to the style. A full schedule of color palettes can be found at the end of this section.

Each project will be required to equally utilize all three-value groups. A full schedule for each style's color palette can be located at the end of this section.

Specific manufacturers have been listed within the approved palettes for roof, paint, stone and brick. They are all locally available and therefore are listed for your convenience.

Alternative colors and manufacturers may be presented to the Design Review Committee (DRC) for consideration if they are clearly within the color and value range shown in the approved palettes and are appropriate to identified architectural style.

### GOVERNING CRITERIA

Each style's palette was developed in accord with the following governing criteria:

- Roof colors shall be in a medium range of light reflectance.
- Field colors shall have a light reflectance value (LRV) appropriate to the style of the architecture.
- Trim and fascia colors shall have a light reflectance value (LRV) appropriate to the style of the architecture.
- Accent colors shall have a light reflectance value (LRV) appropriate to the architectural style.

## 7.2 COLOR DESIGN FAN DECKS

An individual "Color Design Fan Deck" (Design Deck) has been created for each of the identified styles. The Design Decks shall be used for all residential projects within The Crossings. Each style's Design Deck contains actual color chips for all paint color categories as well as listings of all approved roof and masonry colors. ICI Dulux Paint was selected for use in the Design Decks due to its strong selection of architectural colors. Each color chip in the fan deck is marked with its ICI reference number, name and light reflectance value (LRV). The Design Decks can be checked-out from the DRC. The parcel developer should collect a Design Deck for each architectural style being used.

\*\*All of Section 7 was replaced and approved by City Council on February 6, 2007 SPA-04-002

### **7.3 COLOR & MATERIALS - SELECTION & APPLICATION**

The following guidelines will assist in the proper selection and application of colors and materials appropriate to the architectural styles within the development:

#### **7.3.1 ROOF MATERIALS**

- All roof colors shall be selected from the Roof Color Palettes provided for each style. Specific roof profiles are designated for each style.
- Metal roofing used on specific architectural accent elements, if approved by the Design Review Committee, shall have an LRV between 30% and 50% and be in muted tones.
- Flat roofing material contained within parapets shall be similar to the color of any pitched roof used on the same residence. The finish material of the flat roof shall have an LRV of 50% or less.

#### **7.3.2 FIELD COLORS**

- All field colors shall be selected from the Field Color Palettes provided for each style. The full range of value and color exhibited in each style's palette shall be utilized within each projects color package to ensure a dynamic street scene. The builder may also propose alternative field colors for consideration if they are appropriate to the architectural style.
- At least one color scheme with an LRV of 36 or less shall be modeled.
- Any field color used at the base of the building shall continue down to the finish grade.

#### **7.3.3 MULTIPLE FIELD COLORS**

- Field color blocking, or the use of multiple field colors, may be used only if it is integral to the design of the architecture and on style-appropriate applications, such as wainscots on Spanish Cottage elevations. Color blocking should be incorporated into the preliminary architectural design so thoughtful color use is integrated with the architecture and logical color termination points are identified early on. Color changes should occur at inside corners only.
- No more than two field colors may be used per color scheme.
- The LRV between the primary and secondary field colors in any color scheme shall be within a range of 15% to 35%.
- Primary field colors with an LRV between 70% and 83% may be used on only one scheme in a nine to eleven-scheme color package or two schemes in a twelve-scheme package.

## **The Crossings**

- Primary field colors shall not be darker than 20% LRV.
- If the primary field color has an LRV of 30% or less, the secondary field color shall be lighter than the primary field color.

### **7.3.4 FASCIA COLORS**

- Fascia colors shall be selected from the Fascia Color Palette provided for each style. Each Fascia Color Palette contains colors with an LRV range of 80 or less, however stucco fascias shall have an LRV of not less than 15%. The builder may also propose alternative fascia colors for consideration if they are appropriate to the architectural style.
- Stucco fascias, if colored different than the field color, should be clearly discernible from the primary field color but without extreme contrast. Not all of the colors exhibited in the Fascia Color Palettes may be appropriate for use on stucco fascias such as certain cool dark colors.
- Wood fascias shall be a different color than the field color and the color shall be clearly discernible from the primary field color. Other types of exposed woodwork, beams, posts, railings, etc. should be colored to match the wood fascia.

### **7.3.5 TRIM COLORS**

- Trim colors may be selected from the shades found in the Field or Fascia Color Palettes, however, extremely dark shades may not be appropriate for use as stucco trim. Stucco trim shall have an LRV of 20% or greater. The builder may also propose alternative trim colors for consideration if they are appropriate to the architectural style.
- Trim color should be used judiciously on understated window trim and recessed window areas. Wood trim colors should be discernible from the field color but without extreme contrast. Stucco trim, if colored different from the field, should be discernible from the field color but without extreme contrast. Painted-over stucco trim shall terminate at inside corners only.

### **7.3.6 GARAGE DOOR COLORS**

- Garage Door colors shall be selected from any of the colors found within the style's Field or Fascia color categories that have a LRV of 60% or less.

### **7.3.7 ACCENT COLORS**

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## **The Crossings**

- Accent colors may be selected from the colors provided in the Accent Color Palettes or the builder may propose alternate colors for consideration if they are appropriate to the architectural style.
- Accent colors should be used on ornamentation elements, railings, shutters and front doors.

### 7.3.8 WINDOW FRAMES

- Window frame and mullion colors shall be in white, bone, taupe or tan. Black or brown colors are not acceptable.

### 7.3.9 MASONRY

- Masonry veneer of brick and stone may be used in applications that are appropriate to the architectural styles that allow them. See each style's color palette schedule for approved masonry colors and materials.
- Masonry elements must be integral to the architecture and not merely applied features. Masonry shall wrap columns and porches in their entirety. Masonry columns at garage corners shall have a return dimension equal to or greater than the width of the material on the front elevation. Masonry returns at areas around front doors or windows should end at logical termination points related to rooflines or building massing when they are available, otherwise returns shall be 3 feet minimum.
- Both natural or faux stone veneer may be used. Appropriate grout types have been identified for each type of stone profile. Grout colors shall harmonize and blend with the colors found in the stone rather than contrast with it. Grout color and types shall be noted on the color submittal information.
- Brick veneer shall be in warm or neutral muted shades with modeled faces. Combed or raked surfaces are not allowed. "Weeping mortar" joints are not permitted.

## 7.4 BUILDER PARCEL COLOR REQUIREMENTS

### Number of Color Schemes

- Single-family neighborhoods shall have **nine** schemes minimum.
- Multi-family neighborhoods shall have **three** schemes minimum.

### Roof Colors

- Single family neighborhoods shall have at least **six** different roof colors. The same roof color in a different profile may count for two colors.
- Multi-family neighborhoods shall have at least **three** different roof colors.

## The Crossings

### Building Colors

- Each color scheme shall contain a minimum of **four** different colors, not including the roof color. Masonry may be substituted for one the required colors on those styles the allow it.

#### Single family neighborhoods shall conform to the following criteria:

- All **primary field** colors shall be discernibly different from each other.
- Each scheme shall have a different **accent** color.
- **Fascia** and **trim** colors may be the same within a scheme.

#### Multi-family neighborhoods shall conform to the following criteria:

- All **primary** and **secondary field** colors shall be discernibly different from all other field colors.
- The same **fascia** color may be used throughout.
- The same **trim** color may be used throughout.
- **Fascia** and **trim** colors may be the same within a scheme.

## 7.5 COLOR PLOTTING CRITERIA

The two houses on either side of a specific lot and the three lots across from it must all use different color schemes than that specific lot. This requirement applies to all detached neighborhoods.

## 7.6 COLOR PACKAGE EVALUATION

All schemes within a color package will be evaluated for harmonious color combinations, liberal use of the color and value ranges provided in the approved color palettes, and for compliance with the requirements of this section.

## 7.7 COLOR PACKAGE SUBMITTAL

See Section 8, Submittal Requirements, for materials and color submittal requirements. Included with the submittal of the color and materials board(s) shall be all elevations, noted or color coded, indicating where fascia, trim, accent and any secondary field colors will be located. All elevations, front, sides and rear, shall be shown. Incomplete submittals will be returned unreviewed.

## 7.8 - SCHEDULE 1 CRAFTSMAN COLOR PALETTE

### ROOF COLORS

Approved Profiles: Shake

MonierLifetile: Concrete Tile

**Shake - Standard**

1SRCB3233R, Brown Blend  
1SRCB1430R, Charcoal Blend  
1SRCB1132R, Charcoal Brown Blend  
1SRCB3156, Desert Breeze  
1SRCB6464, California Mission Blend

**Madera Shake - Premium**

1MDCL5001, Mountainwood  
1MDCL3002, Autumnwood  
1MDCL4002, Sagewood  
1MDCL5011, Vintagewood

Eagle Roofing Tile: Concrete Tile

**Ponderosa – Standard Shake**

5501, Oakwood  
5502, Arcadia  
5504, New Cedar  
5552, Canyon Gray  
5557, Live Oak

**Ponderosa – Shake Ranges**

5678, Light Brown Range  
5686, Pewter Range  
5687, Gray Brown Range  
5689, Brown Range

**Ponderosa – Shake Blends**

5602, Concord Blend

**FIELD COLORS – ICI Paint**

265	266	271	309	321	327	333	334	341	376	412	415
421	422	428	463	460	461	480	483	485	527	597	631
688	691	910									

**FASCIA COLORS – ICI Paint**

196	197	198	257	262	305	321	356	361	401	415	418
456	515	590	663	682	808	905	1036	1283	1676	1675	

**ACCENT COLORS – ICI Paint**

122	164	197	198	262	1100	1132	1422	1423	1426		
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### The Crossings

**SCHEDULE 1 – CONT.**  
***CRAFTSMAN COLOR PALETTE***

**MASONRY COLORS****Eldorado Stone**

<b><u>Style Type</u></b>	<b><u>Color</u></b>	<b><u>Grout Type</u></b>
<b>Weather Edge:</b>	Napa, Calistoga, Wisconsin	Std./Overgrout
<b>River Rock:</b>	American Blend	Std./Overgrout
<b>Rustic Ledge:</b>	Sequoia, Sawtooth, Cascade, Saddleback	Drystack
<b>Rustic Ledge W/ Country Rubble:</b>	Cascade, Chateau, Tuscany	Std./Overgrout

**Cultured Stone**

<b><u>Style Type</u></b>	<b><u>Color</u></b>	<b><u>Grout Type</u></b>
<b>Southern Ledge:</b>	Walnut, Fog, Buck's County	Drystack
<b>River Rock:</b>	Lake Tahoe, Lakeshore	Std./Overgrout
<b>Weather Edge Ledge:</b>	Fox Valley, Wisconsin, Silverado	Std./Overgrout
<b>Country Ledge:</b>	Caramel, Chardonnay, Honey, Buck's County, Shale, Eucalyptus, Aspen	Std./Overgrout
<b>Dressed Fieldstone &amp; Southernledge:</b>	Rustic/Brandywine, Buck's County/Buck's County, Chardonnay/Chardonnay, Fog/Aspen	Std./Overgrout
<b>Dressed Fieldstone &amp; Country Ledge:</b>	Caramel/Brandywine, Honey/Brandywine, Chardonnay/Chardonnay, Aspen/Aspen	Std./Overgrout

**Robinson Brick**

<b>New Traditions</b>	Confetti, Old Charleston, Old Chestnut, Old Delaware, Old Georgetown, Old Stoneybrook, Santarosa, Mesquite, Sonoma
<b>Designer Classics</b>	Cajun Carbondale, Charleston, Heritage 441, Stoneybrook, Tularosa, Waterlodge, Heritage Antique, Barnwood, Old Chicago

## 7.9 - SCHEDULE 2

### *PRAIRIE RANCH COLOR PALETTE*

#### ROOF COLORS

Approved Profiles: Slate

MonierLifetile: Concrete Tile

**Slate - Standard**

1LSCS3233R, Brown Blend  
 1LSCS6464, California Mission Blend  
 1LSCS1132R, Charcoal Brown Blend  
 1LSCS4598R, Forest Green  
 1LSCS7002, Cherrywood  
 1LSCS0141, Buckskin  
 1LSCS5354, Stone Mountain Blend

Eagle Roofing Tile: Concrete Tile

**Bel Air – Slate**

4502, Arcadia  
 4553, Sandstone Flashed  
 4576, Topanga

**Bel Air – Ranges**

4687, Gray Brown Range  
 4689, Brown Range

**Bel Air - Blends**

4602, Concord Blend  
 4634, Kings Canyon  
 4684, San Raphael Blend  
 4771, Village Blend

**FIELD COLORS – *ICI Paint***

265	321	327	365	369	370	371	376	380	381	415	416
434	458	518	521	523	530	541	544	593	611	631	645
688	694	791	831	830							

**FASCIA COLORS – *ICI Paint***

164	188	202	203	206	263	304	322	324	361	408	456
511	576	578	579	684	686	719	791	903	982	984	1283
1332	1676										

**ACCENT COLORS – *ICI Paint***

60	160	161	163	401	902	1023	1100	1134	1178	1324	1384
1484											

### The Crossings



**SCHEDULE 2 – CONT.**  
***PRAIRIE RANCH COLOR PALETTE***

**MASONRY COLORS****Eldorado Stone**

<b><u>Style Type</u></b>	<b><u>Color</u></b>	<b><u>Grout Type</u></b>
<b>Mountain Ledge:</b>	Bitterroot, Yukon, Mesa verde, Durango, Sierra	Drystack
<b>Stacked Stone:</b>	Santa Fe, Chapel Hill, Castaway, Nantucket	Drystack
<b>Cliffstone:</b>	Lantana, Mesquite, Ponderosa, Manzanita, Cambria	Drystack

**Cultured Stone**

<b><u>Style Type</u></b>	<b><u>Color</u></b>	<b><u>Grout Type</u></b>
<b>Pro-Fit:</b>	Gray, Shale, Autumn, Mojave, Platinum	Drystack
<b>Drystack Ledge:</b>	Chardonnay, Cedar, Mist, Caramel	Drystack
<b>Country LedgeStone:</b>	Eucalyptus, Chardonnay, Aspen, Caramel, Buck's County, Shale, Mojave	Drystack/Std./ Overgrout

**Robinson Brick****Designer Classics**

Brimstone, Cajun, Cardondale, Charleston, Chestnut, Thundercloud, Waterlodge, Barnwood, Heritage Antique

## 7.10 - SCHEDULE 3

### *SPANISH COLONIAL COLOR PALETTE*

#### ROOF COLORS

Approved Profiles: Barrel, "S" and low profile "S" tile

##### US Tile: Clay tile

##### **Barrel or "S" Tiles**

El Camino Blend  
De Anza Blend  
Fire Flash

##### MonierLifetile: Concrete Tile

##### **Barcelona - Standard**

1BCCS6160, Autumn Blend  
1BSSC6464, California Mission Blend  
1BCCS0141, Buckskin  
1BCCS6142, Rio Grande Blend  
1BCCS3940, Cliffside  
1BCCS6129, Marbled Terra Cotta  
1BCCS7310, Morning Rose  
1BCCS7970, Red Castle  
1BCCS7954, Camelot  
1BCCS0431, Apple Bark  
1BCCS4960, Gulfstream

##### **Villa – Standard**

1VICS6464, California Mission Blend  
1VICS6169, Casa Grande Blend  
1VICS0024, Desert Sage  
1VICS7221, Redwood Blend  
1VICS3233, Brown Blend

##### Eagle Roofing Tile: Concrete Tile

##### **American Heirloom – Premium**

SHC 8708, Del Oro Blend  
SHC8709, El Morado Blend  
SHC 8710, Ladera Blend  
SHC 8711, Puesta Del Sol Blend

##### **Capistrano – Standard**

3520, Weathered Terracotta Flashed  
3532, Weathered Terra Cotta  
3553, Sandstone Flashed  
3576, Topanga

##### **Capistrano - Blends**

3604, Carlsbad Blend  
3605, San Benito Blend  
3606, Vallejo Blend  
3626, Rancho Cordova Blend  
3645, Sunrise Blend  
3646, Sunset Blend  
3680, Los Padres Blend  
3688, Buena Vista Blend  
3773, Walnut Creek Blend

##### **Malibu – Standard**

2520, Weathered Terracotta Flashed  
2522, Terracotta Flashed  
2549, Santa Paula  
2553, Sandstone Flashed  
2576, Topanga

**SCHEDULE 3 – CONT.**  
***SPANISH COLONIAL COLOR PALETTE***

**FIELD COLORS - *ICI Paint***

266 323 324 328 329 334 335 367 370 371 378 388  
415 421 422 423 429 436 437 479 485 527 533 541  
547 552 560 672

**FASCIA COLORS - *ICI Paint***

196 198 200 202 204 263 265 304 314 319 321 322  
356 365 401 408 1036 1104 1327 1332 1677

**ACCENT COLORS - *ICI Paint***

122 163 167 197 198 205 1141 1179 1235 1289 1385 1386  
1388

## 7.11 SCHEDULE 4

### *COUNTRY EUROPEAN COLOR PALETTE*

#### ROOF COLORS

Approved Profiles: Slate

##### MonierLifetile: Concrete Tile

###### **Slate - Standard**

1LSCS3233R, Brown Blend  
 1LSCS6464, California Mission Blend  
 1LSCS1132R, Charcoal Brown Blend  
 1LSCS4598R, Forest Green  
 1LSCS7002, Cherrywood  
 1LSCS0141, Buckskin  
 1LSCS5354, Stone Mountain Blend

##### Eagle Roofing Tile: Concrete Tile

###### **Bel Air – Standard**

4502, Arcadia  
 4553, Sandstone Flashed  
 4576, Topanga

###### **Bel Air – Ranges**

4687, Gray Brown Range  
 4689, Brown Range

###### **Bel Air - Blends**

4602, Concord Blend  
 4626, Rancho Cordova  
 4634, King's Canyon  
 4646, Sunset Blend  
 4684, San Raphael Blend  
 4771, Village Blend

#### **FIELD COLORS – ICI Paint**

208	211	225	271	327	334	378	381	386	393	418	421
431	436	468	469	479	484	485	523	533	537	545	556
598	629	651	745	749	756						

#### **FASCIA COLORS – ICI Paint**

161	188	202	203	265	266	321	324	450	460	523	561
567	585	663	681	903	905	909	1104	1333	1427	1586	

#### **ACCENT COLORS – ICI Paint**

21	22	122	126	198	981	1134	1141	1179	1235	1325	1385
1459	1526	1527	1528	1549	1595						

### **The Crossings**

**SCHEDULE 4 – CONT.**  
***COUNTRY EUROPEAN COLOR PALETTE***

**MASONRY COLORS*****Eldorado Stone – Faux Stone***

<b><i>Style Type</i></b>	<b><i>Color</i></b>	<b><i>Grout Type</i></b>
<b>Rustic Ledge:</b>	Cascade, Saddleback, Sawtooth	Drystack
<b>Field Ledge:</b>	Meseta, Andante, Umbria,	Overgrout
<b>Limestone:</b>	York, San Marino, Savannah	Overgrout

***Cultured Stone – Faux Stone***

<b><i>Style Type</i></b>	<b><i>Color</i></b>	<b><i>Grout Type</i></b>
<b>Country Ledge:</b>	Chardonnay, Aspen, Mojave, White Oak, Eucalyptus, Buck's County, Shale	Overgrout/Std.
<b>Old Country Fieldstone:</b>	Chardonnay, Romana, Riviera, Piedmont	Overgrout/Std.
<b>Dressed Fieldstone:</b>	Aspen, Cedar	Overgrout
<b>Country Ledge &amp; Dressed Fieldstone:</b>	Chardonnay & Chardonnay, Aspen & Aspen	Overgrout
<b>European Castle Stone:</b>	Buck's County, Chardonnay	Overgrout/Std.

## 7.12 SCHEDULE 5

### *TUSCANY COLOR PALETTE*

#### ROOF COLORS

Approved Profiles: Barrel, “S” and low profile “S” tiles

##### US Tile: Clay tile

##### **Barrel or “S” Tile**

Bermuda Blend

Malorca

Peach

##### MonierLifetile: Concrete Tile

##### **Barcelona - Standard**

1BCCS6160, Autumn Blend

1BSSC6464, California Mission Blend

1BCCS0141, Buckskin

1BCCS6142, Rio Grande Blend

1BCCS3940, Cliffside

1BCCS6129, Marbled Terra Cotta

1BCCS7310, Morning Rose

1BCCS7970, Red castle

1BCCS7954, Camelot

1BCCS0431, Apple Bark

1BCCS4960, Gulfstream

##### **Villa – Standard**

1VICS6464, California Mission Blend

1VICS6169, Casa Grande Blend

1VICS0024, Desert Sage

1VICS7221, Redwood Blend

1VICS3233, Brown Blend

##### Eagle Roofing Tile: Concrete Tile

##### **Camino Real – Premium**

SMC8402, Mission Santa Cruz

SMC8645, Mission San Diego

SMC8807, Mission Carmel

##### **American Heirloom – Premium**

SHC 8708, Del Oro Blend

SHC 8709, El Morado Blend

SHC 8710, Ladera Blend

SHC 8711, Puesta Del Sol Blend

##### **Capistrano – Standard Integrals**

3520, Weathered Terracotta Flashed

3532, Weathered Terracotta Flashed

3530, Weathered Adobe

3576, Topanga

##### **Capistrano - Blends**

3604, Carlsbad Blend

3605, San Benito Blend

3606, Vallejo Blend

3626, Rancho Cordova Blend

3645, Sunrise Blend

3646, Sunset Blend

3680, Los Padres Blend

3688, Buena Vista Blend

3773, Walnut Creek Blend

##### **Malibu – Standard Integrals**

2520, Weathered Terracotta Flashed

2549, Santa Paula

2553, Sandstone Flashed

2576, Topanga

## 7.12 SCHEDULE 5 TUSCANY COLOR PALETTE

### FIELD COLORS - *ICI Paint*

320 322 323 325 335 364 366 371 414 420 421 424  
 437 462 463 469 479 524 530 535 538 541 542 547  
 550 552 610

### FASCIA COLORS - *ICI Paint*

198 263 305 306 321 353 355 356 361 408 410 412  
 450 512 515 579 585 682 691 905 982

### ACCENT COLORS - *ICI Paint*

196 262 352 456 578 829 902 903 909 942 945 981  
 1386 1389 1527 1530

### MASONRY COLORS

#### Eldorado Stone

<u>Style Type</u>	<u>Color</u>	<u>Grout Type</u>
<b>Fieldledge:</b>	Meseta, Veneto, Andante, Umbria	Overgrout
<b>Hillstone:</b>	Lucero, Milano, Bergamo, Verona	Overgrout
<b>Limestone:</b>	York, Savannah, Castillo, Shilo	Overgrout
<b>Cliffstone:</b>	Lantana, Mesquite, Manzanita, Cambria	Drystack

#### Cultured Stone

<u>Style Type</u>	<u>Color</u>	<u>Grout Type</u>
<b>Old Country Fieldstone:</b>	Chardonnay, Riviera, Romana, Piedmont	Overgrout/Std.

### The Crossings

## 7.13 SCHEDULE 6

### *MONTEREY COLOR PALETTE*

#### ROOF COLORS

Approved Profiles – Shake or Flat (Slate)

##### MonierLifetile: Concrete Tile

###### **Slate - Standard**

1LSCS3233R, Brown Blend  
 1LSCS6464, California Mission Blend  
 1LSCS1132R, Charcoal Brown Blend  
 1LSCS4598R, Forest Green  
 1LSCS7002, Cherrywood  
 1LSCS0141, Buckskin  
 1LSCS5354, Stone Mountain Blend

###### **Shake - Standard**

1SRCB3233R, Brown Blend  
 1SRCB1430R, Charcoal Blend  
 1SRCB1132R, Charcoal Brown Blend  
 1SRCB3156, Desert Breeze  
 1SRCB6464, California Mission Blend

###### **Madera Shake - Premium**

1MDCL5001, Mountainwood  
 1MDCL3002, Autumnwood  
 1MDCL4002, Sagewood  
 1MDCL5011, Vintagewood

##### Eagle Roofing Tile: Concrete Tile

###### **Bel Air – Slate**

4502, Arcadia  
 4576, Topanga

###### **Bel Air – Ranges**

4687, Gray Brown Range  
 4689, Brown Range

###### **Bel Air - Blends**

4646, Sunset Blend  
 4771, Village Blend

###### **American Heirloom – Shake**

SHP 8706, Cascade Blend  
 SHP 8707, Sierra Blend

###### **Ponderosa – Standard Shake**

5501, Oakwood  
 5502, Arcadia  
 5504, New Cedar  
 5552, Canyon Gray  
 5557, Live Oak

###### **Ponderosa– Shake Ranges**

5678, Light Brown Range  
 5687, Gray Brown Range  
 5689, Brown Range



**SCHEDULE 6 – CONT.**  
***MONTEREY COLOR PALETTE***

**FIELD COLORS – ICI Paint**

271 309 321 336 380 372 381 386 422 461 478 523  
546 550 554 597 567 568 658 716 1677

**FASCIA & TRIM COLORS – ICI Paint**

202 203 212 222 224 265 321 328 361 369 370 399  
418 436 480 815 991 1026 1027 1033 1291 1675 1676

**ACCENT COLORS – ICI Paint**

88 121 159 160 399 672 980 1132 1135 1384 1484 1485  
1486 1674

**Robinson Brick****Designer Classics**

Thundercloud, Stoneybrook, Tularosa, Brimstone, Waterlodge, Heritage 441, Cajun,  
Birch, Charleston, Carbondale

## 7.14 SCHEDULE 7

### *SOUTHERN ITALIAN COLOR PALETTE*

#### ROOF COLORS

Approved Profiles: Barrel, "S", flat tiles and low profile "S" tiles for lots up to 5,500 sq. ft.

##### US Tile: Clay tile

##### **Barrel or "S" Tile**

Madera

Newport

##### MonierLifetile: Concrete Tile

##### **Barcelona - Standard**

1BCCS6160, Autumn Blend  
 1BSSC6464, California Mission Blend  
 1BCCS0141, Buckskin  
 1BCCS6142, Rio Grande Blend  
 1BCCS3940, Cliffside  
 1BCCS1132, Charcoal Brown Blend  
 1BCCS7970, Red Castle  
 1BCCS7954, Camelot  
 1BCCS0431, Apple Bark  
 1BCCS4960, Gulfstream

##### **Villa – Standard**

1VICS6464, California Mission Blend  
 1VICS6169, Casa Grande Blend  
 1VICS0024, Desert Sage  
 1VICS7221, Redwood Blend  
 1VICS3233, Brown Blend

##### MonierLifetile

##### **Slate - Standard**

1LSCS3233R, Brown Blend  
 1LSCS6464, California Mission Blend  
 1LSCS1132R, Charcoal Brown Blend  
 1LSCS4598R, Forest Green  
 1LSCS7002, Cherrywood  
 1LSCS0141, Buckskin  
 1LSCS5354, Stone Mountain Blend

##### Eagle Roofing Tile: Concrete Tile

##### **American Heirloom – Premium**

SHC 8708, Del Oro Blend  
 SHC 8709, El Morado Blend  
 SHC 8710, Ladera Blend  
 SHC 8711, Puesta Del Sol Blend

##### **Capistrano – Standard Integrals**

3520, Weathered Terracotta Flashed  
 3532, Weathered Terracotta  
 3530, Weathered Adobe  
 3576, Topanga  
 3581, Canyon Brown

##### **Capistrano - Blends**

3604, Carlsbad Blend  
 3605, San Benito Blend  
 3606, Vallejo Blend  
 3645, Sunrise Blend  
 3646, Sunset Blend  
 3680, Los Padres Blend  
 3687, King's Canyon  
 3688, Buena Vista Blend  
 3773, Walnut Creek Blend

##### **Malibu – Standard Integrals**

2520, Weathered Terracotta Flashed  
 2522, Terracotta Flashed  
 2549, Santa Paula  
 2553, Sandstone Flashed  
 2576, Topanga  
 2581, Canyon Brown  
 2687, Gray Brown Range

## **The Crossings**

**SCHEDULE 7 – CONT.**  
***SOUTHERN ITALIAN COLOR PALETTE***

**FIELD COLORS - ICI Paint**

204 208 211 213 265 266 308 309 311 327 328 334  
335 370 372 374 386 422 427

**FASCIA & TRIM COLORS - ICI Paint**

203 210 265 271 305 309 321 334 361 365 369 370  
374 450 453 468 523 539 546 550 583 586 588 595  
648 1487 1494

**ACCENT COLORS - ICI Paint**

21 41 90 161 164 167 401 1282 1332 1423 1426 1462  
1488 1675

**MASONRY COLORS*****Eldorado Stone – Faux Stone***

<b>Style Type</b>	<b>Color</b>	<b>Grout Type</b>
<b>Limestone:</b>	York, San Marino	overgrout
<b>Cliffstone:</b>	Lantana, Ponderosa, Manzanita	drytstack
<b>Country Rubble:</b>	Tularosa, Tuscany/Cognac, Serrano/Palermo, Capri	flush grout
<b>Fieldledge:</b>	Meseta, Andante	overgrout

***Cultured Stone – Faux Stone***

<b>Style Type</b>	<b>Color</b>	<b>Grout Type</b>
<b>Old Country Fieldstone:</b>	Chardonnay, Riviera, Romana, Piedmont	Overgrout/Std.

**The Crossings**

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## SECTION 8

# DESIGN REVIEW

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### 8.1 INTRODUCTION

The Master Developer, and its designated Design Review Committee, shall administer all project submittals and approvals for development within The Crossings with regard to the implementation of the Design Guidelines. The procedure described below shall be used to administer the implementation process.

As an expression of the Master Developer's vision for The Crossings, the Design Guidelines are intended to provide builders, architects, civil engineers, and others an overall direction in the design process. The criteria contained within the Design Guidelines provides examples of ways in which the vision can be achieved, however, the Master Developer strongly encourages creativity, innovation, and variety throughout The Crossings. Builders may propose other design solutions to project development, as long as the overall intent of the community vision and Design Guidelines is achieved.

All project submittals, whether designed in strict accordance with the design criteria contained herein or with other design solutions not specifically addressed in the Design Guidelines, will be reviewed by the Master Developer to ensure that all projects achieve the goals and objectives of the Master Developer's vision as expressed throughout the Design Guidelines document.

### 8.2 IMPROVEMENTS REQUIRING REVIEW

All parcel improvements by the builder will require review and approval by the Master Developer. Improvements requiring review include but are not limited to residential products including new construction, remodels, landscape, signage, and amenities such as the park, open play areas or community facilities and ancillary structures.

### 8.3 DESIGN REVIEW COMMITTEE

The Master Developer shall establish a Design Review Committee (DRC) to review each project submittal. The DRC shall consist of representatives from the Master Developer along with an architectural consultant, landscape consultant, and civil engineering consultant. In addition, the DRC may consult with other professional advisors as deemed appropriate. Projects for design review shall be submitted to the Design Review Committee at the address listed below. Complete submissions are required in order for the DRC to make an expeditious review. In the event that the DRC as constituted by the master developer is dissolved, then a new DRC shall be formed as mutually agreeable by the master developer and the Planning Director of the City of Victorville.

**DESIGN REVIEW COMMITTEE**  
NGA #2, LLC  
3455 Cliff Shadows Parkway, Suite 220  
Las Vegas, NV 89129

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## The Crossings

## 8.4 SUBMITTAL REQUIREMENTS

Two sets of the following items are required for submittal of production residential development plans prior to submittal to the City of Victorville. A Submittal Application and Checklist for Design Review must be submitted to the Design Review Committee and may be found at the end of this document.

### **Preliminary Concept Site Plan** (Per Production Neighborhood; 1" = 40')

The purpose of this submittal is ensure that the overall concept of the neighborhood design, particularly regarding the layout of proposed streets and lots, is consistent with the intent of the design guidelines *before* the builder begins preparation of tentative tract maps. The following are required elements of the Preliminary Concept Site Plan submittal:

- Conceptual street layout
- Conceptual lot layout
- Proposed pedestrian connections
- Adjacent streets and open space

Approval of the Preliminary Concept Site Plan does not constitute approval of a particular project. All projects must complete both the Preliminary Concept Site Plan and Detail Development Plan processes.

### **Detailed Development Plan** (Per Production Phase; 1" = 40')

- Proposed street locations and dimensions
- Proposed lot lines and dimensions
- Proposed pedestrian connections
- Pre-plotting of units along parcel edges that are visible from master planned roads and open space
- Building footprints (Model and elevation must be specified)
- Driveway and/or alley placement
- Wall and Fence locations and heights
- Adjacent street(s) and open space
- Location of all required parking

### **Architectural Plans**

- Floor plans with dimensions (1/8" = 1' - 0" or 1/4" = 1'-0")
- Elevations for all four sides with dimensions (1/8" = 1' - 0" or 1/4" = 1'-0"). Material call-outs and depth of recesses or pop-outs should be identified

## **The Crossings**

- Floor area calculations including 1st floor living area, 2nd floor living area, and garage square footage
- Typical lot for each floor plan indicating building footprint, setback requirements, driveway locations, and sidewalk locations.

**Material and Color Sample Board** (Maximum Size of Board(s): 11" x 17")

Actual samples mounted on boards of the following:

- Primary stucco material sample and color(s)
- Secondary stucco material sample and color(s)
- Accent and trim material sample and colors
- Accent material samples (Stone, Brick, Etc.)
- Roof tile (Material and Color)

**Landscape Plan** (1" = 40')

- Street tree species, size and location
- Neighborhood entries
- Planting and fencing details.

## 8.5 PLAN CHECK FEES

The following plan check fees shall apply to the design review process:

- Preliminary Concept Site Plan: *to be determined*
- Initial Full Submittal including: *to be determined*
  - Detailed Development Plan
  - Architectural Plans
  - Material and Color Sample Board
  - Landscape Plan
- Subsequent Submittals (if necessary): *to be determined*

Upon review of the submittal, additional fees may be required to cover expenses incurred by the DRC. The plan check fee shall be submitted to the following:

**NGA #2, LLC**  
3455 Cliff Shadows Parkway, Suite 220  
Las Vegas, NV 89129  
Telephone: 702 / 242-4949

## **8.6 DESIGN REVIEW AND APPROVAL PROCESS**

The Design Review Committee (DRC), established by the Master Developer, shall review each project submittal. Within 35 working days of receipt of a complete submittal, the DRC shall recommend "**approved**", "**approved with modifications**", or "**denied**". Failure to approve is denial. The DRC shall summarize its finding in a written response letter to the Master Developer. The Master Developer shall make the final decision regarding approval of the submittal.

The DRC shall review each submission for the design's commitment to overall community development and adherence to these Design Guidelines. The DRC is not responsible for the review of submissions to determine conformance to any applicable codes and standards established by public agencies.

Submittals that are "Approved" by the DRC may then be submitted to the City of Victorville, if required. Submittals that are "Approved with Modifications" or "Denied" shall be revised as necessary and re-submitted to the DRC for approval. All submittals must be approved by the DRC prior to submission to the City of Victorville or other public agencies.

## **8.7 ADMINISTRATION**

### **8.7.1 AMENDMENT**

The Design Guidelines may be amended from time to time by the Master Developer in accordance with the applicable CC&R's.

### **8.7.2 PREVALENCE OF DECLARATION**

In the event of any conflict between the provisions of the Design Guidelines and the Master Declaration of Covenants, Conditions and Restrictions for The Crossings, the most restrictive shall prevail.

### **8.7.3 MISCELLANEOUS**

All items submitted during the review process shall become the property of the Master Developer. Changes to the approved plans shall be re-submitted to the DRC for approval and shall clearly identify the revision(s).

### **8.7.4 PROSECUTION OF WORK AFTER APPROVAL**

After approval of the final plans by the Master Developer, the construction, alteration or other work described therein shall be commenced and completed in accordance with the rules set forth in these Design Guidelines and the Declaration. The Master Developer or its representative has the right to enter the lot or premises and to inspect the project for compliance with the Design Guidelines or Declaration at any time, without advance notice to the lot owner nor fear of trespass and liability.

## **The Crossings**

**8.7.5 VIOLATIONS**

Construction deemed by the Master Developer to be in violation of approved drawings, the Design Guidelines, or the Declaration shall be corrected as described in the Declaration.

**8.7.6 RECORDATION OF NOTICE**

Upon approval of the final plans, the Master Developer shall, upon written request from the applicant, provide a statement of approval in a form appropriate for recordation. The Master Developer may also record a notice to reflect any work which has not been approved or any approval previously given which has been revoked.

**8.7.7 RULE MAKING AUTHORITY**

The Master Developer adopts these Design Guidelines for the purpose of interpreting, applying, supplementing and implementing the provisions of the Declaration pertaining to the design of site improvements. A copy of the Design Guidelines as from time to time adopted, amended or repealed, shall be maintained in the office of the Master Developer and the City of Victorville, and shall be available for inspection during normal business hours by any applicant or any architect or agent of any such applicant. It shall be the responsibility of the applicant or architect or agent of any such applicant to inform themselves as to any and all such changes of these Design Guidelines.

**8.7.8 LIABILITY OF COMMITTEE**

Provided that the Master Developer acts in good faith, neither the Master Developer nor any representative thereof shall be liable to any applicant or any other person for any damage, loss or prejudice suffered or claimed on account of the review of any plans, specifications or materials. The review and delivery of a form of approval or disapproval is not to be considered an opinion as to whether or not the plans are defective or whether the construction methods or performance of the work proposed therein is defective, or whether the facts therein are correct or meet Victorville Building Codes.

**8.7.9 PROFESSIONAL ADVICE**

The Master Developer may employ the services of an architect, attorney, land planner, landscape architect or engineer to render professional advice and may charge the cost for services of such a professional to the applicant, but only after the applicant has been informed in advance such compensation shall be so charged.